

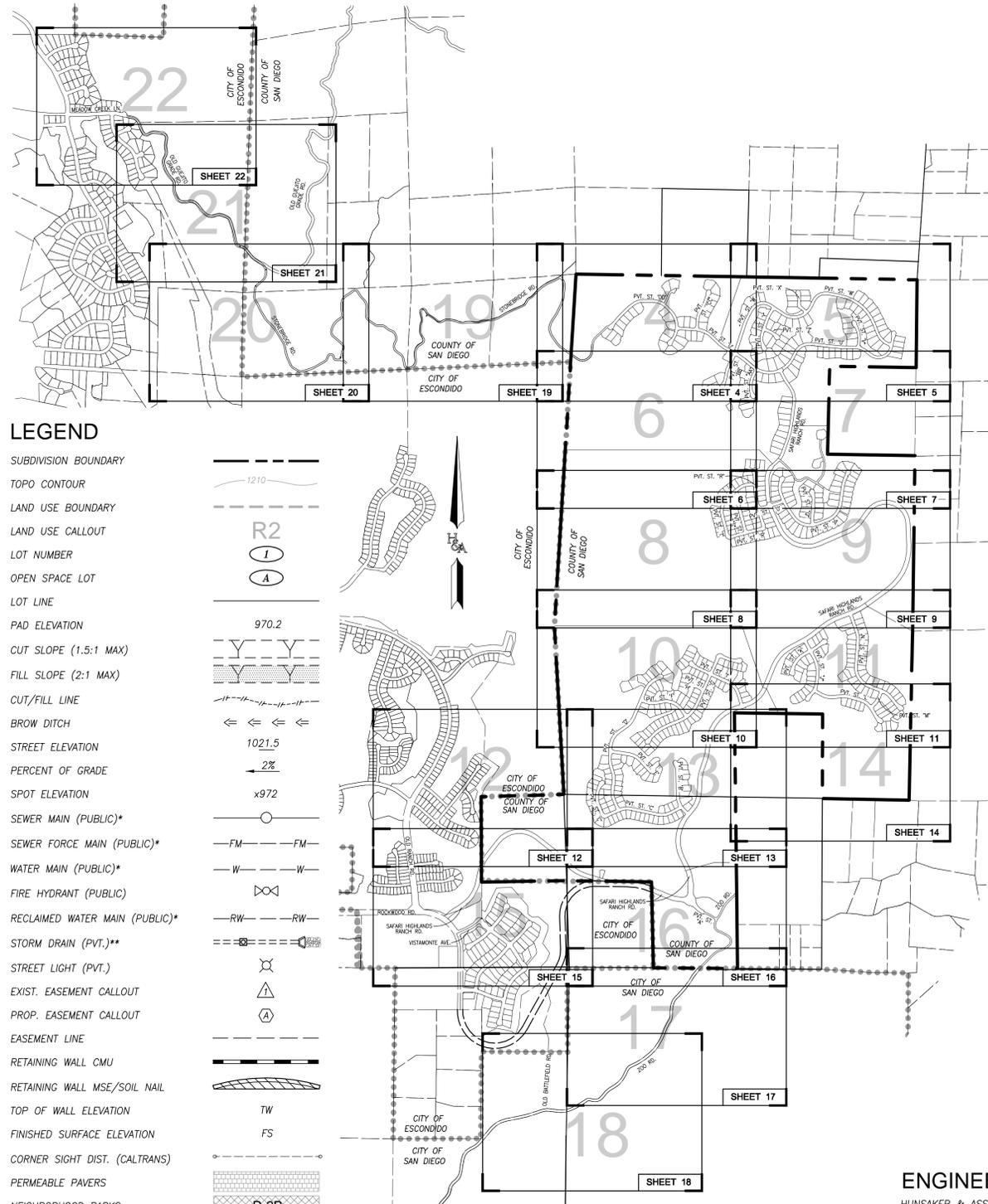
TENTATIVE SUBDIVISION MAP SUB15-0019

SAFARI HIGHLANDS RANCH

CITY OF ESCONDIDO, CALIFORNIA

EXISTING EASEMENT NOTES

- ENCUMBRANCES: SOUTH PR
- THE FOLLOWING IS A LIST OF EXCEPTIONS PER A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY AS ORDER NO. 12201181-996-USO DATED DECEMBER 6, 2012.
- THE FOLLOWING ITEMS AFFECT PARCELS 2 & 2A (242-010-02)
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: ARTHUR SANSONE AND RAYDA JO SANSONE, HUSBAND AND WIFE
PURPOSE: ROAD AND PUBLIC UTILITY PURPOSES
RECORDED: JULY 17, 1975 AS INSTRUMENT NO. 75-184900 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED AND RELOCATED TO PERMANENT LOCATION OF ZOO ROAD
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: STUART H. REED AND MARY LOU REED, HUSBAND AND WIFE AS JOINT TENANTS
PURPOSE: ROAD AND PUBLIC UTILITY PURPOSES
RECORDED: FEBRUARY 27, 1984 AS INSTRUMENT NO. 84-069560 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED AND RELOCATED TO PERMANENT LOCATION OF ZOO ROAD
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: STANLEY A. YALOF AND GLORIA YALOF, HUSBAND AND WIFE, AS JOINT TENANTS
PURPOSE: ROAD AND PUBLIC UTILITY PURPOSES
RECORDED: AUGUST 22, 1985 AS INSTRUMENT NO. 85-0304855 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED AND RELOCATED TO PERMANENT LOCATION OF ZOO ROAD
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: JAMES HOWERZYL AND JEANETTE HOWERZYL, HUSBAND AND WIFE AND STEPHEN J. HOWERZYL AND RONDA HOWERZYL, HUSBAND AND WIFE, AS JOINT TENANTS
PURPOSE: ROAD AND PUBLIC UTILITY PURPOSES
RECORDED: AUGUST 27, 1985 AS INSTRUMENT NO. 85-311000 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED AND RELOCATED TO PERMANENT LOCATION OF ZOO ROAD
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: SAN DIEGO TRUST & SAVINGS BANK, AS TRUSTEE FOR CARL AND DOROTHY BOSSARD TRUST NO. 1-4088-00-8, AND SAN DIEGO TRUST & SAVINGS BANK, SUCCESSOR TRUSTEE UNDER DECLARATION OF TRUST DATED APRIL 16, 1975 AND CAROL DAWN BONTRAGER, TRUSTEE OF THE CAROL DAWN BONTRAGER TRUST, DATED AUGUST 9, 1983
PURPOSE: ROAD AND PUBLIC UTILITY PURPOSES
RECORDED: DECEMBER 1, 1987 AS INSTRUMENT NO. 87-0663622 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED AND RELOCATED TO PERMANENT LOCATION OF ZOO ROAD
- THE FOLLOWING ITEMS AFFECT PARCELS 3, 3A, 3C, 4, 4A & 4C (242-010-36 & 37)
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: SAN DIEGO TRUST & SAVINGS BANK AS TRUSTEE FOR CARL AND DOROTHY BOSSARD TRUST NO. 1-4088-00-8
PURPOSE: ROAD AND UTILITY PURPOSES
RECORDED: DECEMBER 6, 1978 AS INSTRUMENT NO. 78-0524806 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: SAN DIEGO TRUST & SAVINGS BANK AS TRUSTEE FOR TRUST NO. 1-4088-00-8
PURPOSE: PURPOSES NOT SET FORTH IN SAID DOCUMENT
RECORDED: FEBRUARY 16, 1978 AS INSTRUMENT NO. 78-063970 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT.
- PURPOSE: ROAD AND UTILITY PURPOSES
RECORDED: DECEMBER 17, 1987 AS INSTRUMENT NO. 87-0692205 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED AND RELOCATED TO PERMANENT LOCATION OF ZOO ROAD
- THE FOLLOWING ITEMS AFFECT PARCEL 5 (242-010-38)
- THE FOLLOWING ITEMS AFFECT ALL PARCELS (INTEREST OF GENERAL PARTNER)
- ENCUMBRANCES: NORTH PR
- THE FOLLOWING IS A LIST OF EXCEPTIONS PER A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY AS ORDER NO. 12201469-996-USO DATED FEBRUARY 14, 2013.
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS
RECORDED: SEPTEMBER 13, 1960 AS INSTRUMENT NO. 183740 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: WESTMONT COLLEGE
PURPOSE: ROAD AND UTILITY
RECORDED: DECEMBER 31, 1974 AS INSTRUMENT NO. 74-0337439 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT.
- GRANTED TO: THE PACIFIC TELEPHONE AND TELEGRAPH COMPANY
PURPOSE: PUBLIC UTILITIES, INGRESS, EGRESS
RECORDED: JUNE 10, 1981 AS INSTRUMENT NO. 81-0180733 OF OFFICIAL RECORDS
AFFECTS: THE ROUTE THEREOF AFFECTS A PORTION OF SAID LAND AND IS MORE FULLY DESCRIBED IN SAID DOCUMENT.
- FUTURE DISPOSITION: EASEMENT TO BE QUITCLAIMED



LEGEND

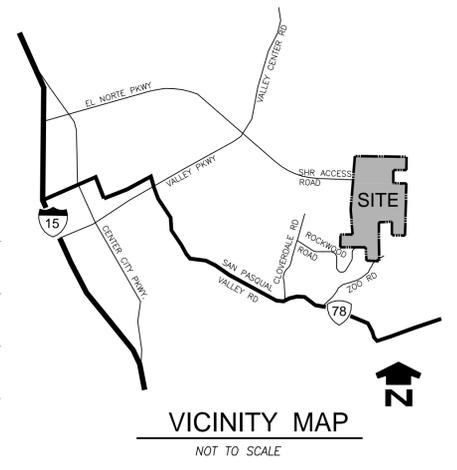
SUBDIVISION BOUNDARY	---
TOPO CONTOUR	1210
LAND USE BOUNDARY	---
LAND USE CALLOUT	R2
LOT NUMBER	1, A
OPEN SPACE LOT	---
LOT LINE	---
PAD ELEVATION	970.2
CUT SLOPE (1.5:1 MAX)	Y
FILL SLOPE (2:1 MAX)	Y
CUT/FILL LINE	---
BROW DITCH	← ← ← ←
STREET ELEVATION	1021.5
PERCENT OF GRADE	2%
SPOT ELEVATION	x972
SEWER MAIN (PUBLIC)*	—○—
SEWER FORCE MAIN (PUBLIC)*	—FM— FM—
WATER MAIN (PUBLIC)*	—W— W—
FIRE HYDRANT (PUBLIC)	⊗
RECLAIMED WATER MAIN (PUBLIC)*	—RW— RW—
STORM DRAIN (PVT.)**	—SD— SD—
STREET LIGHT (PVT.)	⊗
EXIST. EASEMENT CALLOUT	⊗
PROP. EASEMENT CALLOUT	⊗
EASEMENT LINE	---
RETAINING WALL CMU	---
RETAINING WALL MSE/SOIL NAIL	---
TOP OF WALL ELEVATION	TW
FINISHED SURFACE ELEVATION	FS
CORNER SIGHT DIST. (CALTRANS)	---
PERMEABLE PAVERS	---
NEIGHBORHOOD PARKS	P-2B
FLOW LINE WATERS OF THE US	---
FLOW LINE 50' BUFFER WATERS OF THE US	---

1 INDICATES SHEET NUMBER

..... INDICATES CITY/COUNTY LIMITS

SHEET KEY MAP

NOT TO SCALE



LEGAL DESCRIPTION

BEING PORTIONS OF SECTIONS 20 AND 21, TOGETHER WITH LOTS 1 TO 7 INCLUSIVE AND LOTS 9 TO 16 INCLUSIVE OF SECTION 16, ALL OF TOWNSHIP 12 SOUTH, RANGE 1 WEST, S.B.M. IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

PUBLIC UTILITIES/DISTRICTS

GAS & ELECTRIC.....SAN DIEGO GAS AND ELECTRIC 1(800)411-7343
WATER.....CITY OF ESCONDIDO (760)839-4657
SEWER.....CITY OF ESCONDIDO (760)839-4657
STORM DRAIN.....HOA MAINTAINED
FIRE.....CITY OF ESCONDIDO (760)839-5400
POLICE.....CITY OF ESCONDIDO (760)839-4722
SCHOOLS.....ESCONDIDO UNION HS DIST. (760)291-3200
SAN PASQUAL UNION SCHOOL DIST. (760)745-4931

ASSESSOR'S PARCEL / ADDRESS

APN 240-270-33 23260 OLD WAGON RD. VALLEY CENTER, CA 92082
APN 242-010-37 200 RD. CA 92027
APN 242-010-36 200 RD. CA 92027
APN 242-010-38 200 RD. CA 92027
APN 242-060-03 ROCKWOOD RD. SAN DIEGO, CA 92027
APN 242-010-02 ROCKWOOD RD. SAN DIEGO, CA 92027

TOPOGRAPHICAL SOURCE

- TOPOGRAPHY SHOWN WITHIN THE PROJECT BOUNDARY AND DIRECTLY WEST WAS PROVIDED BY TOWILL INC., MAY 1991. A FIELD SURVEY BASED ON THE BENCHMARK REFERENCE WAS PERFORMED BY HUNSAKER & ASSOCIATES TO SPOT CHECK THE TOPOGRAPHY AND DATUM AS NGVD '29.
- TOPOGRAPHY FOR OFF SITE ZOO ROAD COMPILED BY ROBERT J. LUNG AND ASSOC. DATUM NGVD '29. FLOWN ON 4-16-14
- TOPOGRAPHY FOR OFF-SITE NORTHWEST SECONDARY EMERGENCY ACCESS COMPILED BY ROBERT J. LUNG AND ASSOC. DATUM NGVD '29. FLOWN ON 9-16-14

BENCHMARK

VERTICAL BASED ON PT 1009 FROM ROS 14236. (2" IRON PIPE WITH 2 1/2" BRASS DISC STAMPED "EGCS 1992 1009" IN PAVEMENT. LOCATED 0.8+/- MILES NORTH ON ZOO DRIVE FROM INTERSECTION OF ZOO DRIVE AND SAN PASQUAL VALLEY ROAD. TB 23 F3.)
ELEV. 598.74' (NGVD '29)

EARTHWORK

CUT: 3,889,600 CY
FILL: 3,889,600 CY*
*FILL ADJUSTED FOR AFFECT OF BULKING

ENGINEER OF WORK

HUNSAKER & ASSOCIATES
9707 WAPLES STREET
SAN DIEGO, CA 92121
(858) 558-4500



Alisa S. Vialpando 2/17/2020
ALISA S. VIALPANDO R.C.E. 47945 EXP. 12/31/21 DATE

GENERAL NOTES

- SUBDIVISION AREA GROSS/NET: 1,098.6 ACRES
- TOTAL NO. LOTS: 584
20 OPEN SPACE LOTS
8 HOA PRIVATE STREET LOTS
550 RESIDENTIAL LOTS
1 FIRE STATION LOT (FS)
2 WATER RESERVOIR LOTS
1 SEWER LIFT STATION LOT
1 WATER PUMP STATION LOT
1 HOA REC. AREA (RA)
- EXISTING/PROPOSED GENERAL PLAN: SPA-4
- EXISTING/PROPOSED ZONING: SP (SPECIFIC PLAN)
- GROSS DENSITY: 0.5 DU/AC (550 UNITS/1,098.6 AC)
- ALL SITE IMPROVEMENTS SHALL CONFORM TO CITY OF ESCONDIDO DESIGN STANDARDS EXCEPTING DESIGN STANDARDS WAIVERS LISTED ON TM.
- ALL EXIST/PROPOSED UTILITIES TO BE UNDERGROUND.
- FINISHED GRADES ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE IN FINAL DESIGN CONSISTENT WITH THE CITY'S SUBSTANTIAL CONFORMANCE POLICY.
- CUT SLOPES 1.5:1 MAX, FILL SLOPES 2:1 MAX.
- ALL PROPOSED LOTS TO BE ON A SANITARY SEWER SYSTEM.
- THERE ARE NO EXISTING STRUCTURES ON SITE.
- THE PROJECT AREA HAS NOT BEEN MAPPED BY FEMA FOR FLOOD INSURANCE.
- ALL PROPOSED SEWER IMPROVEMENTS ARE PUBLIC AND SHALL BE MAINTAINED BY THE CITY OF ESCONDIDO.
- ALL PROPOSED WATER IMPROVEMENTS ARE PUBLIC AND SHALL BE MAINTAINED BY THE CITY OF ESCONDIDO.
- ALL PROPOSED STORM DRAIN IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- SOILS REPORT PREPARED BY: GEOCON
- THIS PROJECT IS A "MULTIPLE PHASE" SUBDIVISION. IT IS THE INTENT THAT MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE SUBDIVISION MAP ACT. THE FINAL MAP MAY CONSIST OF ONE OR MORE MULTIPLE LOTS AS SHOWN ON THIS TENTATIVE MAP.
- MODEL UNITS MAY BE BUILT PRIOR TO FINAL MAP RECORDATION.
- TREES WITH A TRUNK DIAMETER OF 4" OR LARGER HAVE NOT BEEN LOCATED DUE TO SUBDIVISION SIZE.
- STREET LIGHTS TO BE INSTALLED ON ALL PRIVATE STREETS IN ACCORDANCE WITH SUMMARY OF MINIMUM DESIGN STANDARDS IN FINAL ENGINEERING.
- LIGHTED SAG VERTICAL CURVES PER AASHTO COMFORT LIGHTED SAG
- MSE/SOIL NAIL WALLS WILL BE EVALUATED IN FINAL ENGINEERING TO DETERMINE WHICH WALL TYPE IS BEST SUITED TO LOCATIONS SHOWN. ON TM.

APPLICANT / OWNER

SAFARI HIGHLANDS RANCH, LLC
380 STEVENS AVENUE, SUITE 307
SOLANA BEACH, CA 92075

OWNER'S CERTIFICATE

I (WE) HEREBY CERTIFY THAT I (WE) AM (ARE) THE RECORD OWNER OF THE PROPERTY SHOWN ON THE TENTATIVE SUBDIVISION MAP AND THAT SAID MAP SHOWS ALL MY (OUR) CONTIGUOUS OWNERSHIP IN WHICH I (WE) HAVE ANY DEED OR TRUST INTEREST. I (WE) UNDERSTAND THAT MY (OUR) PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

Jeb B. Hall 2/10/15
JEB B. HALL, ESC. DATE

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	STREET SECTIONS
SHEET 3	STREET SECTIONS/DETAILS
SHEET 4 - 22	TENTATIVE MAP
SHEET 23	LOT AREA TABLES
SHEET 24	SITE SECTIONS
SHEET 25	SECTIONS
SHEET 26	GRADING EXEMPTIONS
SHEET 27	ON-SITE STOP SIGNS
SHEET 28-29	TRAFFIC CALMING PLAN
SHEET 30-32	OFFSITE TRAFFIC CALMING PLAN
SHEET 33-45	OFFSITE ROAD IMPROVEMENTS

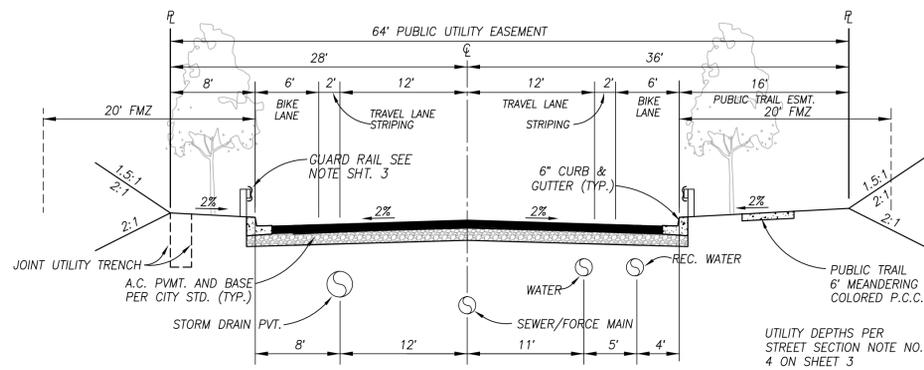
PREPARED BY:	REVISION	DATE	BY
 HUNSAKER & ASSOCIATES SAN DIEGO, INC. PLANNING: 9707 Waples Street ENGINEERING: San Diego, CA 92121 SURVEYING: PH(619)558-4500 - FX(619)558-1414	ORIGINAL	7/01/15	H&A
	REVISE PER CITY COMMENTS	10/04/16	H&A
	REVISE PER CITY COMMENTS	1/25/17	H&A
	REVISE PER CITY COMMENTS	4/24/17	H&A
	REVISE PER CITY COMMENTS	10/24/18	H&A
	REVISE PER CITY COMMENTS	03/26/19	H&A
	REVISE PER CITY COMMENTS	12/19/19	H&A
	REVISE PER CITY COMMENTS	02/17/20	H&A

TENTATIVE MAP

SAFARI HIGHLANDS RANCH

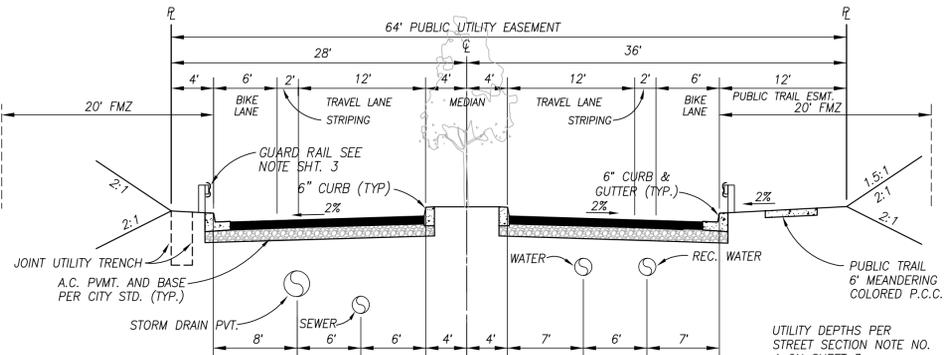
CITY OF ESCONDIDO, CALIFORNIA

SHEET 1 OF 45



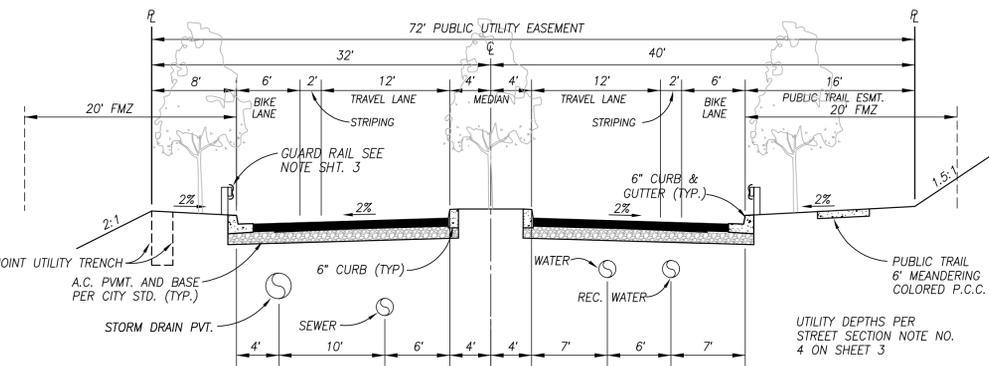
LOCAL COLLECTOR (MODIFIED)
SAFARI HIGHLAND RANCH ROAD
PVT. COLLECTOR STREET

NOT TO SCALE



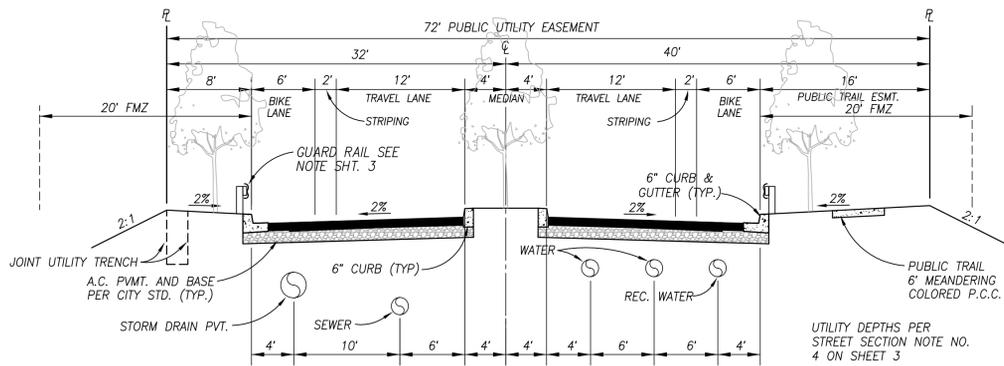
LOCAL COLLECTOR (MODIFIED)
SAFARI HIGHLAND RANCH ROAD
TRAFFIC CALMING MEDIAN
PVT. COLLECTOR STREET

NOT TO SCALE



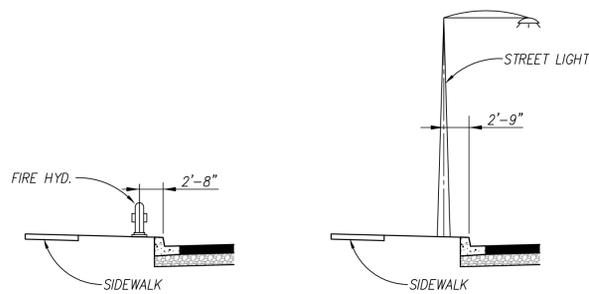
LOCAL COLLECTOR (MODIFIED)
SAFARI HIGHLAND RANCH ROAD
PVT. COLLECTOR ST.-MEDIAN

NOT TO SCALE



LOCAL COLLECTOR (MODIFIED)
SAFARI HIGHLAND RANCH ROAD
PVT. COLLECTOR ST.-MEDIAN

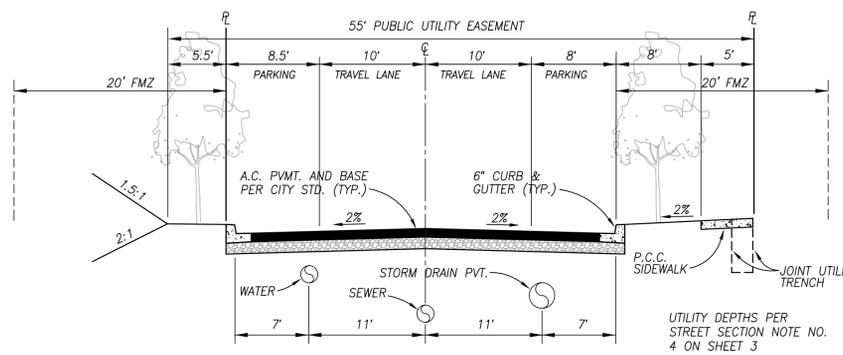
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TYP. FIRE HYDRANT AND
STREET LIGHT LOCATION

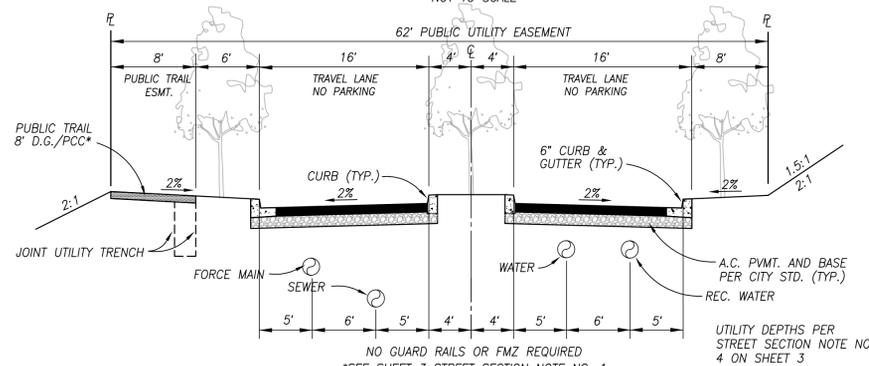
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STREET LIGHT SPACING PER SUMMARY
OF MODIFIED MINIMUM STREET DESIGN
STANDARDS ON SHEET 3



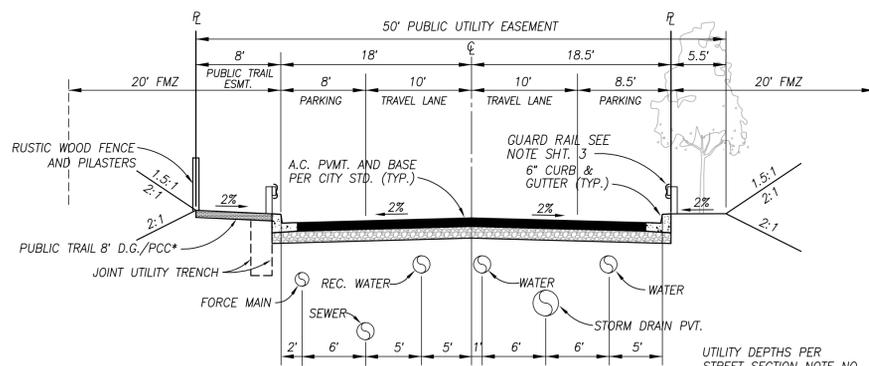
RESIDENTIAL STREET PRIVATE (MODIFIED)
PVT. STREETS 'A' THRU 'T'
PVT. RESIDENTIAL STREET

NOT TO SCALE



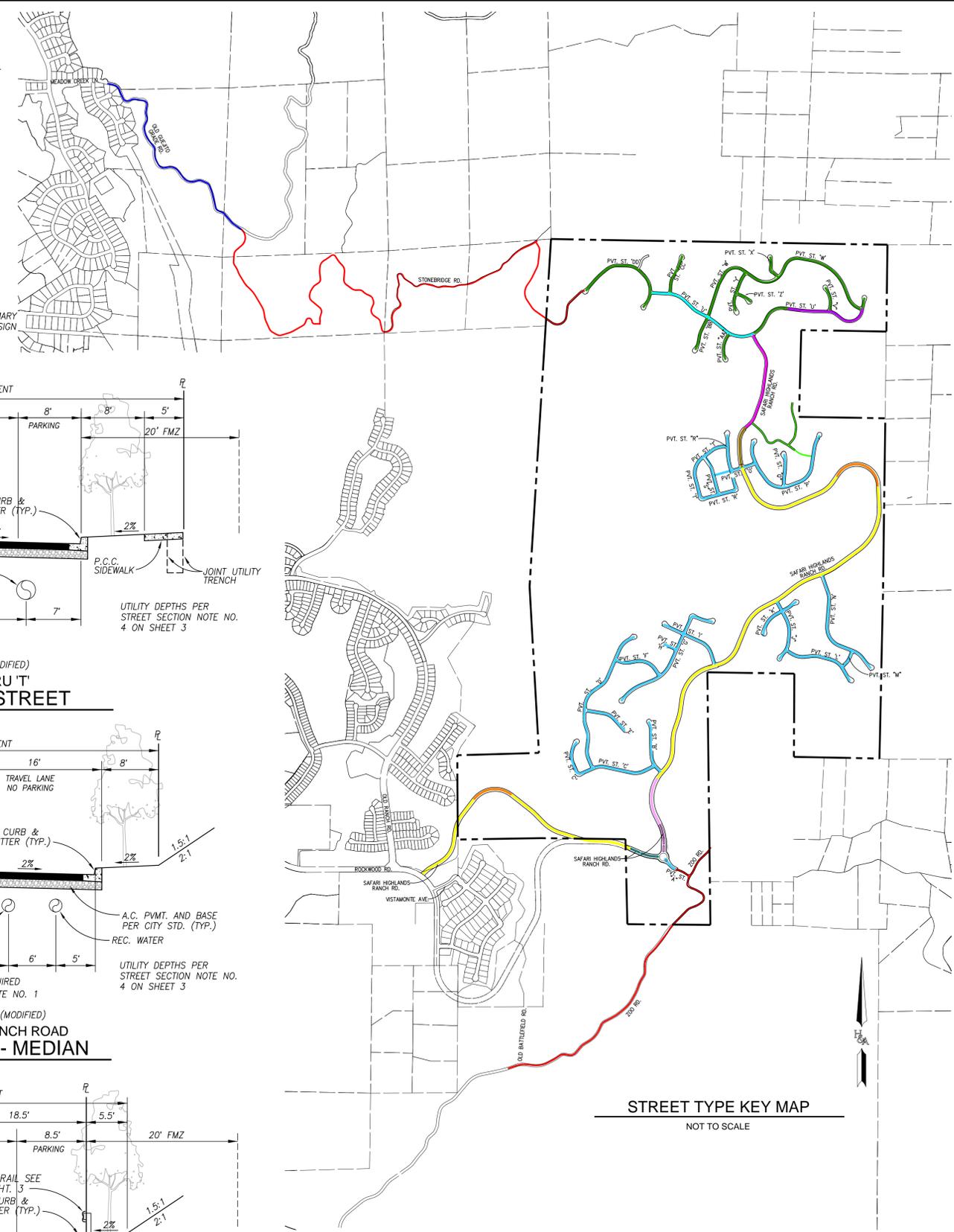
RURAL RESIDENTIAL STREET PRIVATE (MODIFIED)
PORT. SAFARI HIGHLANDS RANCH ROAD
PVT. ESTATE STREET - MEDIAN

NOT TO SCALE



RURAL RESIDENTIAL STREET PRIVATE (MODIFIED)
PORT. SAFARI HIGHLAND RANCH ROAD
PVT. ESTATE STREET

NOT TO SCALE

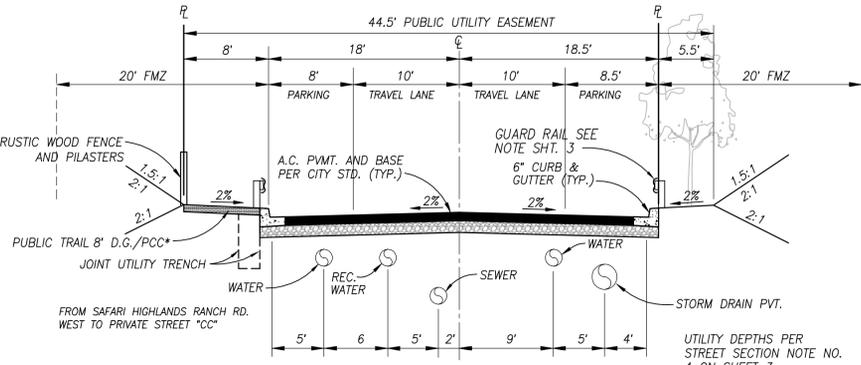


STREET TYPE KEY MAP
NOT TO SCALE

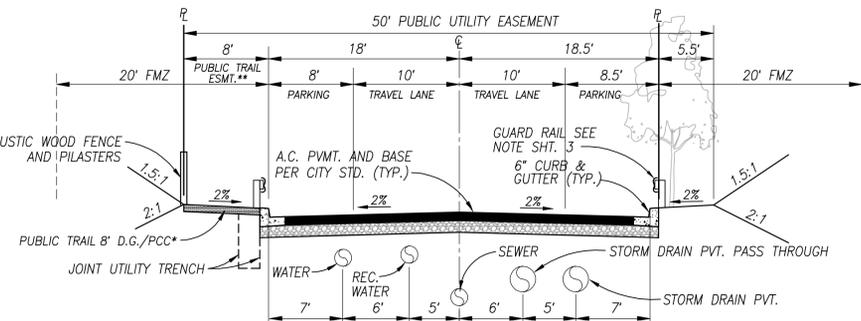
PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, INC.
PLANNING 9707 Waples Street
ENGINEERING San Diego, CA 92121
SURVEYING PH(619)598-4500 FX(619)598-1414

STREET SECTIONS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

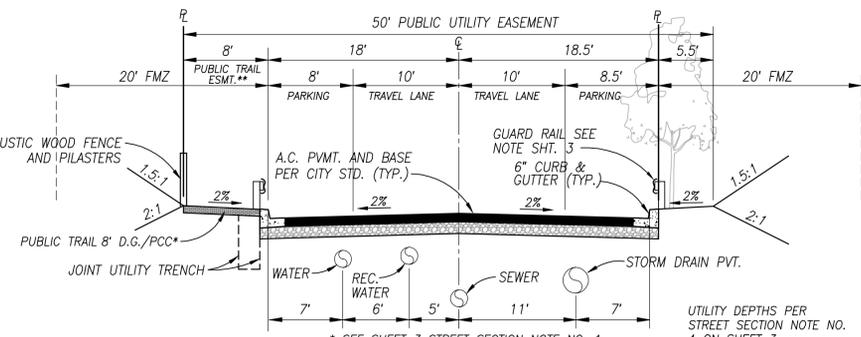
SHEET
2
OF
45



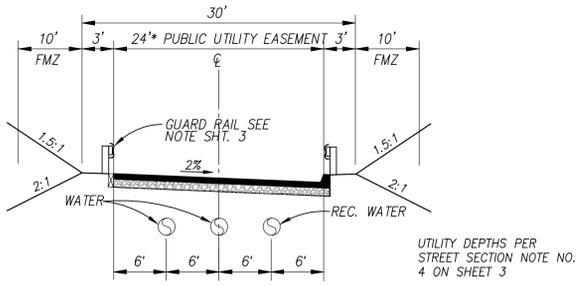
*SEE SHEET 3 STREET SECTION NOTE NO. 1
RURAL RESIDENTIAL STREET PRIVATE (MODIFIED)
PORT OF STREET 'U' TO 'DD'
PVT. ESTATE STREET
NOT TO SCALE



* SEE SHEET 3 STREET SECTION NOTE NO. 1
** PUBLIC TRAIL ESMT. FROM SAFARI HIGHLANDS RANCH ROAD EAST TO LOT 65
RURAL RESIDENTIAL STREET PRIVATE (MODIFIED)
PVT. STREETS "U"-"DD"
PVT. ESTATE STREET
NOT TO SCALE



* SEE SHEET 3 STREET SECTION NOTE NO. 1
** PUBLIC TRAIL ESMT. FROM SAFARI HIGHLANDS RANCH ROAD EAST TO LOT 65
RURAL RESIDENTIAL STREET PRIVATE (MODIFIED)
PVT. STREETS "U"-"DD"
PVT. ESTATE STREET
NOT TO SCALE



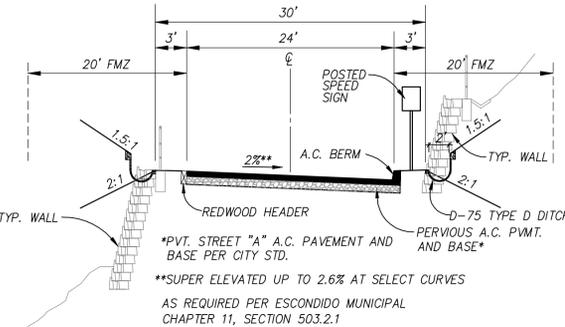
*WHERE EASEMENTS ARE NECESSARY, THE MINIMUM WIDTH SHALL BE 20'. WITH AN ALL-WEATHER ROAD SURFACE, GRADES OVER 10% SHALL BE PAVED WITH CONCRETE. EASEMENT ROADS SHALL HAVE A 25' MIN. INSIDE RADIUS, 5% MAX CROSS-SLOPE & 15% MAX GRADE.
TANK ACCESS ROAD
NOT TO SCALE

DEVIATION FROM STANDARD

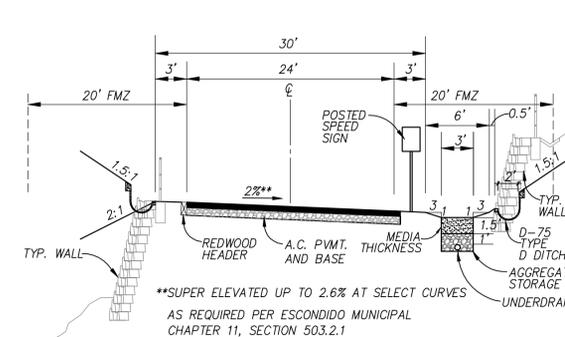
1. PROPOSED PUBLIC WATER MAINS MAY USE HORIZONTAL CURVES AS ALLOWED PER PIPE MANUFACTURERS RECOMMENDATIONS.
2. PROPOSED PUBLIC UTILITIES MAY HAVE TREES CLOSER THAN 15' BUT NO CLOSER THAN 10' PROVIDED TREE ROOT BARRIERS ARE INSTALLED.
3. LOCAL COLLECTOR STANDARDS TO BE BASED ON AASHTO STANDARDS FOR 30 MPH DESIGN SPEED AS FOLLOWS: ROW/CURB TO CURB/PARKWAYS PER TYPICAL SECTIONS ON SHEET 2. HORIZONTAL RADIUS 350' MINIMUM, MAXIMUM GRADE 15%.
4. PRIVATE RESIDENTIAL STREET ROW/CURB TO CURB/PARKWAYS PER TYPICAL SECTIONS ON SHEET 2.
5. PRIVATE ESTATE STREETS TO BE BASED ON AASHTO STANDARDS AS FOLLOWS: HORIZONTAL RADIUS 200' MINIMUM. ROW/CURB TO CURB/PARKWAYS PER TYPICAL SECTIONS ON SHEET 2.
6. PRIVATE ACCESS EASEMENT TO BE BASED ON AASHTO STANDARDS AS FOLLOWS: DESIGN SPEED 20 MPH, HORIZONTAL RADIUS 107' MINIMUM, HORIZONTAL RADIUS 90' MINIMUM WITH 2.6% SUPER ELEVATION.
7. SIDEWALKS ONE SIDE ONLY FOR LOCAL COLLECTOR, RESIDENTIAL STREET (PRIVATE) AND RURAL RESIDENTIAL STREET (PRIVATE). LOCAL COLLECTOR 6' MEANDERING D.G. TRAIL, RESIDENTIAL STREET (PRIVATE) 5' CONCRETE SIDEWALK AND RURAL RESIDENTIAL STREET (PRIVATE) 8' D.G. TRAIL.

STREET SECTION NOTES

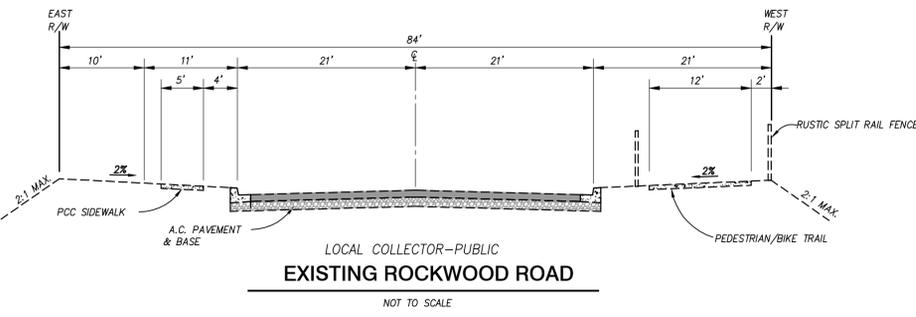
1. PARKWAYS WITHIN ESTATE STREETS TO BE CONSTRUCTED OF D.G. FOR GRADES UP TO 5% AND CONCRETE FOR GRADES UP TO 15%.
2. GUARD RAILS TO BE INSTALLED PER CALTRANS REQUIREMENTS AND THE REQUIREMENTS FOR AND THE LIMITS OF GUARD RAIL INSTALLATION SHALL BE DETERMINED DURING FINAL ENGINEERING TO THE SATISFACTION OF THE CITY ENGINEER.
3. FIRE HYDRANT AND STREET LIGHT LOCATIONS PER DETAIL ON SHEET 2.
4. TYPICAL MINIMUM UTILITY DEPTHS FOR WATER 3 FEET COVER TO TOP OF PIPE, STORM DRAIN 4 FEET TYPICAL COVER TO TOP OF PIPE, SEWER 8 FEET TYPICAL COVER TO TOP OF PIPE. WHEN THE HORIZONTAL SEPERATION BETWEEN POTABLE AND RECYCLED WATER LINES IS LESS THAN 10', THE RECYCLED WATER LINE SHALL BE A MIN 1' BELOW THE POTABLE WATER LINE, FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
5. UTILITY SEPERATION FROM CURB SHOWN IS NOT A MINIMUM, BUT MAY VARY BASED ON CITY STANDARD PROHIBITING CURVED PIPE.



*PVT. STREET "A" A.C. PAVEMENT AND BASE PER CITY STD.
**SUPER ELEVATED UP TO 2.6% AT SELECT CURVES
AS REQUIRED PER ESCONDIDO MUNICIPAL CHAPTER 11, SECTION 503.2.1
PRIVATE ACCESS EASEMENT (MODIFIED)
ZOO RD., STONEBRIDGE RD., PORTION OF PVT. ST. 'A'
EMERGENCY ACCESS RD. CONDITION A
NOT TO SCALE



**SUPER ELEVATED UP TO 2.6% AT SELECT CURVES
AS REQUIRED PER ESCONDIDO MUNICIPAL CHAPTER 11, SECTION 503.2.1
PRIVATE ACCESS EASEMENT (MODIFIED)
OLD GUEJITO RD. EMERGENCY ACCESS RD. CONDITION B
NOT TO SCALE

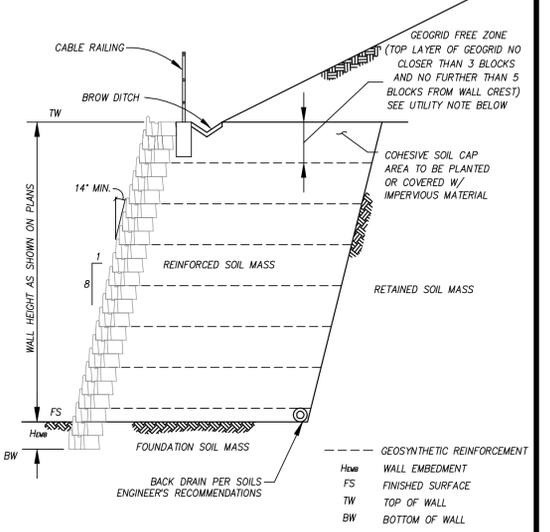


LOCAL COLLECTOR-PUBLIC
EXISTING ROCKWOOD ROAD
NOT TO SCALE

SUMMARY OF MODIFIED MINIMUM STREET DESIGN STANDARDS

DESIGN CRITERIA	LOCAL COLLECTOR (PRIVATE)	RESIDENTIAL STREET (PRIVATE)	RURAL RESIDENTIAL STREET (PRIVATE)	PRIVATE ACCESS EASEMENT
1) ESTIMATED ULTIMATE 24 HR. TRAFFIC (VOLUME)	2,000 TO 10,000	LESS THAN 2,000	LESS THAN 2,000	LESS THAN 750
2) DESIGN SPEED (MPH)	30***	25	25	20***
3) SPACING OF FOUR WAY INTERSECTIONS (FEET)	300	--	--	--
4) SPACING OF MEDIAN OPENINGS (FEET)	N/A	N/A	N/A	N/A
5) RIGHT-OF-WAY (FEET)	64-72	49.5	62-44.5	N/A
6) ACCESS TO ADJOINING PROPERTY	NO	OK	OK	OK
7) CURB TO CURB (FEET)	40	36	32-36	24
8) TRAFFIC INDEX	8' MEDIAN	4	8' MEDIAN-N/A	4
9) MIN. THICKNESS OF PAVEMENT (INCHES)	3AC/6AB	3AC/6AB*	3AC/6AB*	3AC/6AB*
10) STOPPING SIGHT DISTANCE (SUMMITS) (FEET)	250	200	200	PER AASHTO
11) HEADLIGHT DISTANCE (SAGS) (FEET)	250	200	200	PER AASHTO
12) MIN. HORIZONTAL RADIUS (FEET) FOR STANDARD CROWN	350**	300	165**	107 (90 MIN.)**
13) MIN. TANGENT BETWEEN REVERSING HORIZONTAL CURVES (FEET) (2 SEC. RECOVERY TIME)	100	90	90	NONE
14) MAXIMUM GRADE (%)				
A.C.	12	15	15	15
P.C.C.	15	20	20	20
15) MINIMUM GRADE (%)	0.5	0.5	0.5	0.5
16) STREET LIGHTS				
MIN/MAX (LUMENS)	8600/12600	5600/8600	5600/8600	5600/8600
SPACING** (FEET)	400	440	440	440****

* NOTE: ADD 1/2" OF AC FOR EACH 2% OF FRACTION THEREOF IN GRADE ADDED OVER 12%, UP TO 15%
** NOTE: MEETS AASHTO SEE STREET DESIGN DEVIATION REQUESTS LETTERS PREPARED BY HUNSAKER & ASSOC.
*** NOTE: REQUIRES TRAFFIC CALMING PER TRAFFIC ENGINEER LINSOCT, LAW AND GREENSPAN
**** NOTE: REQUIRED IN SELECT LOCATIONS FOR CENTERLINES WITH RADIUS LESS THAN 200' PER EMERGENCY ACCESS ROAD DESIGN SPEED DEVIATION LETTER MITIGATION REPORT, LOCATIONS SHOWN ON PLAN

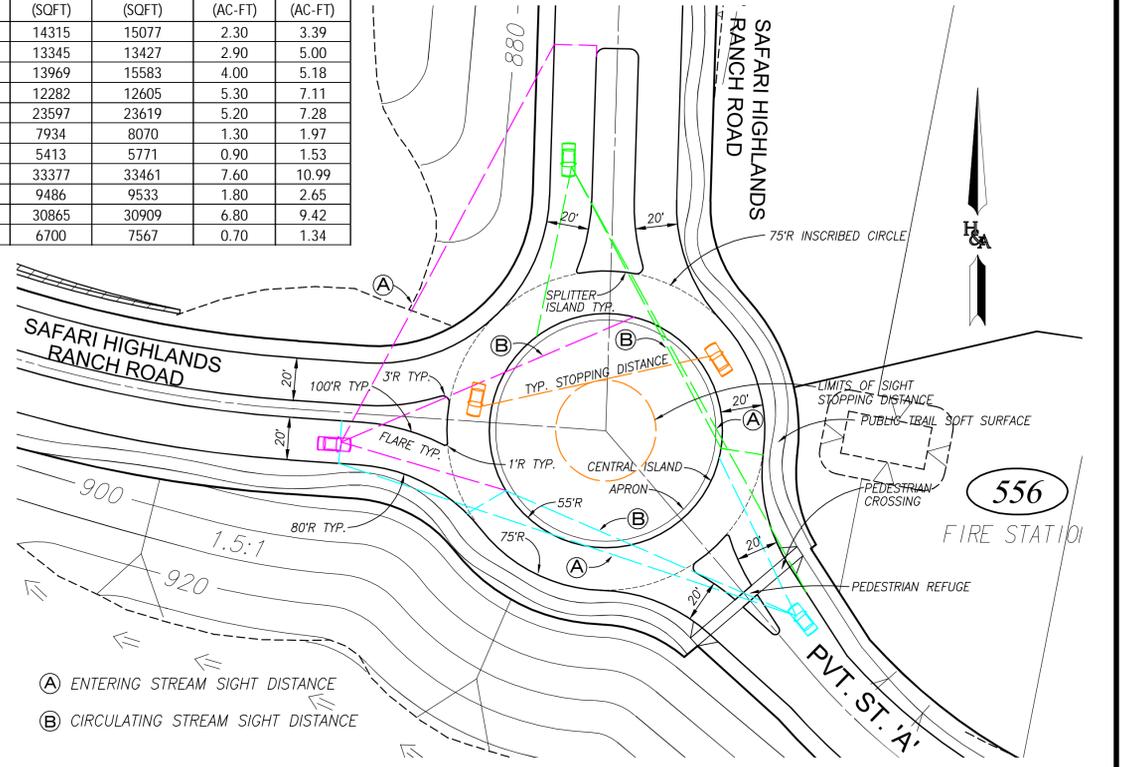


MSE WALL DETAIL

NOT TO SCALE
UTILITY NOTE: MSE/SOIL NAIL WALL DESIGN SHALL NOT EXTEND GEOSYNTHETIC REINFORCEMENT INTO TRAVELED WAY AT A DEPTH THAT MAY CONFLICT WITH PROPOSED UTILITIES (10'). ALTERNATE DESIGN MAY BE REQUIRED INCLUDING CONCRETE BACKFILL WITH SHORTER GRID LENGTHS. ALTERNATE WALL DESIGN OR OTHER MEASURES TO KEEP THE UTILITY ZONE FREE FROM CONFLICT

BASIN SUMMARY TABLE

DMA	BMP ID	REQUIRED FOOTPRINT (SQFT)	PROVIDED FOOTPRINT (SQFT)	STORAGE REQUIRED (AC-FT)	STORAGE PROVIDED (AC-FT)
A	BF-A	14315	15077	2.30	3.39
B	BF-B	13345	13427	2.90	5.00
C	BF-C	13969	15583	4.00	5.18
D	BF-D	12282	12605	5.30	7.11
E	BF-E	23597	23619	5.20	7.28
F	BF-F	7934	8070	1.30	1.97
G	BF-G	5413	5771	0.90	1.53
H	BF-H	33377	33461	7.60	10.99
I	BF-I	9486	9533	1.80	2.65
J	BF-J	30865	30909	6.80	9.42
K	BF-K	6700	7567	0.70	1.34



PVT. ROUNDABOUT DETAIL

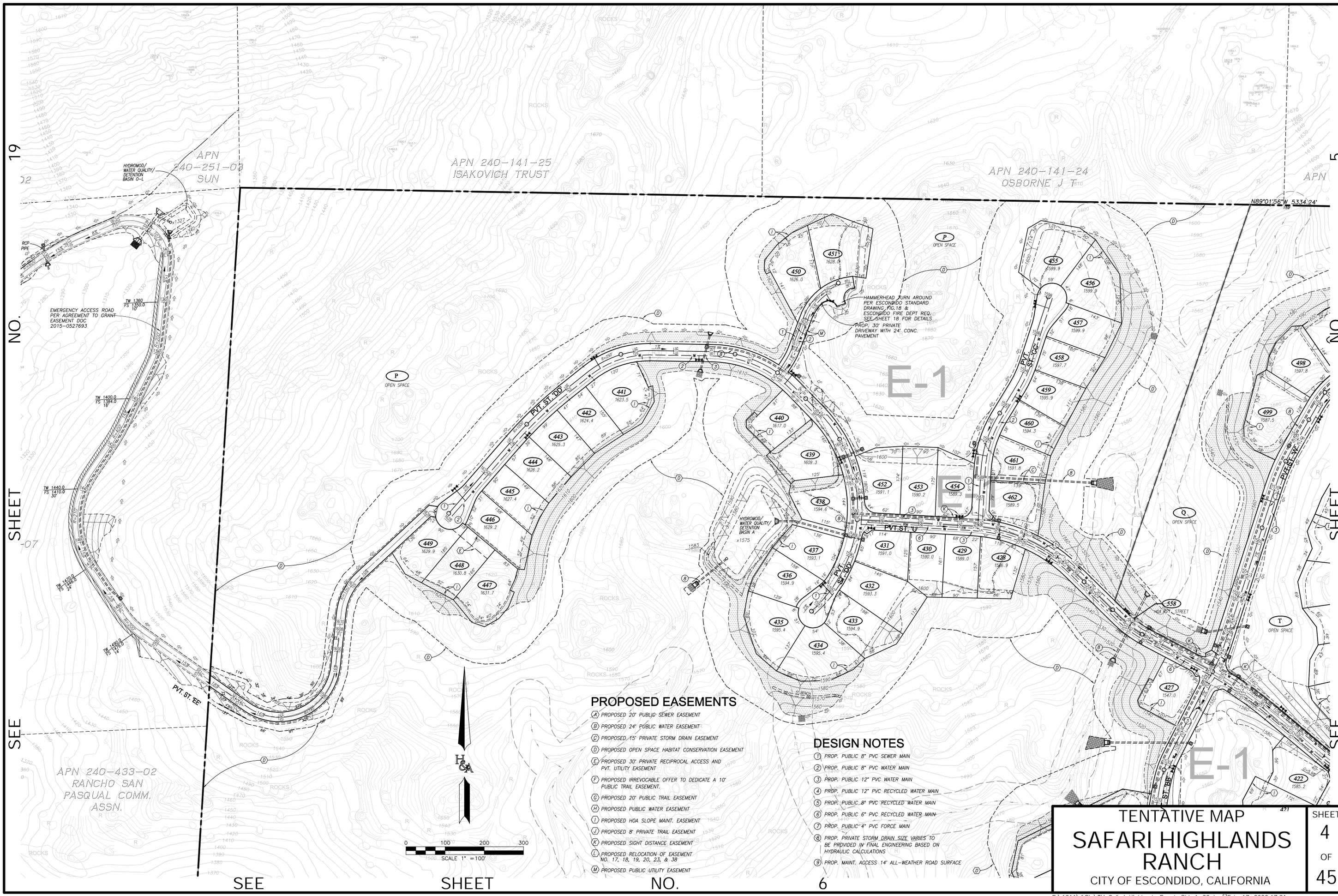
SCALE: 1" = 40'

ROUNDABOUT DESIGN BASED ON U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION PUBLICATION NO. FHWA-RD-00-067 "ROUNDABOUTS: AN INFORMATIONAL GUIDE"

PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, INC.
PLANNING 9707 Waples Street
ENGINEERING San Diego, CA 92121
SURVEYING PH: 619-593-4300 FAX: 619-593-5814

STREET SECTIONS/DETAILS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET **3** OF **45**



19

NO.

SHEET

SEE

APN 240-251-03
SUN

APN 240-141-25
ISAKOVICH TRUST

APN 240-141-24
OSBORNE J-T

5
APN

NO.

SHEET

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APN 240-433-02
RANCHO SAN
PASQUAL COMM.
ASSN.

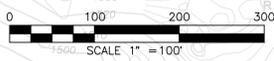
SEE

SHEET

NO.

PROPOSED EASEMENTS

- (A) PROPOSED 20" PUBLIC SEWER EASEMENT
- (B) PROPOSED 24" PUBLIC WATER EASEMENT
- (C) PROPOSED 15" PRIVATE STORM DRAIN EASEMENT
- (D) PROPOSED OPEN SPACE HABITAT CONSERVATION EASEMENT
- (E) PROPOSED 30' PRIVATE RECIPROCAL ACCESS AND PVT. UTILITY EASEMENT
- (F) PROPOSED IRREVOCABLE OFFER TO DEDICATE A 10' PUBLIC TRAIL EASEMENT.
- (G) PROPOSED 20' PUBLIC TRAIL EASEMENT
- (H) PROPOSED PUBLIC WATER EASEMENT
- (I) PROPOSED HOA SLOPE MAINT. EASEMENT
- (J) PROPOSED 8" PRIVATE TRAIL EASEMENT
- (K) PROPOSED SIGHT DISTANCE EASEMENT
- (L) PROPOSED RELOCATION OF EASEMENT NO. 17, 18, 19, 20, 23, & 38
- (M) PROPOSED PUBLIC UTILITY EASEMENT

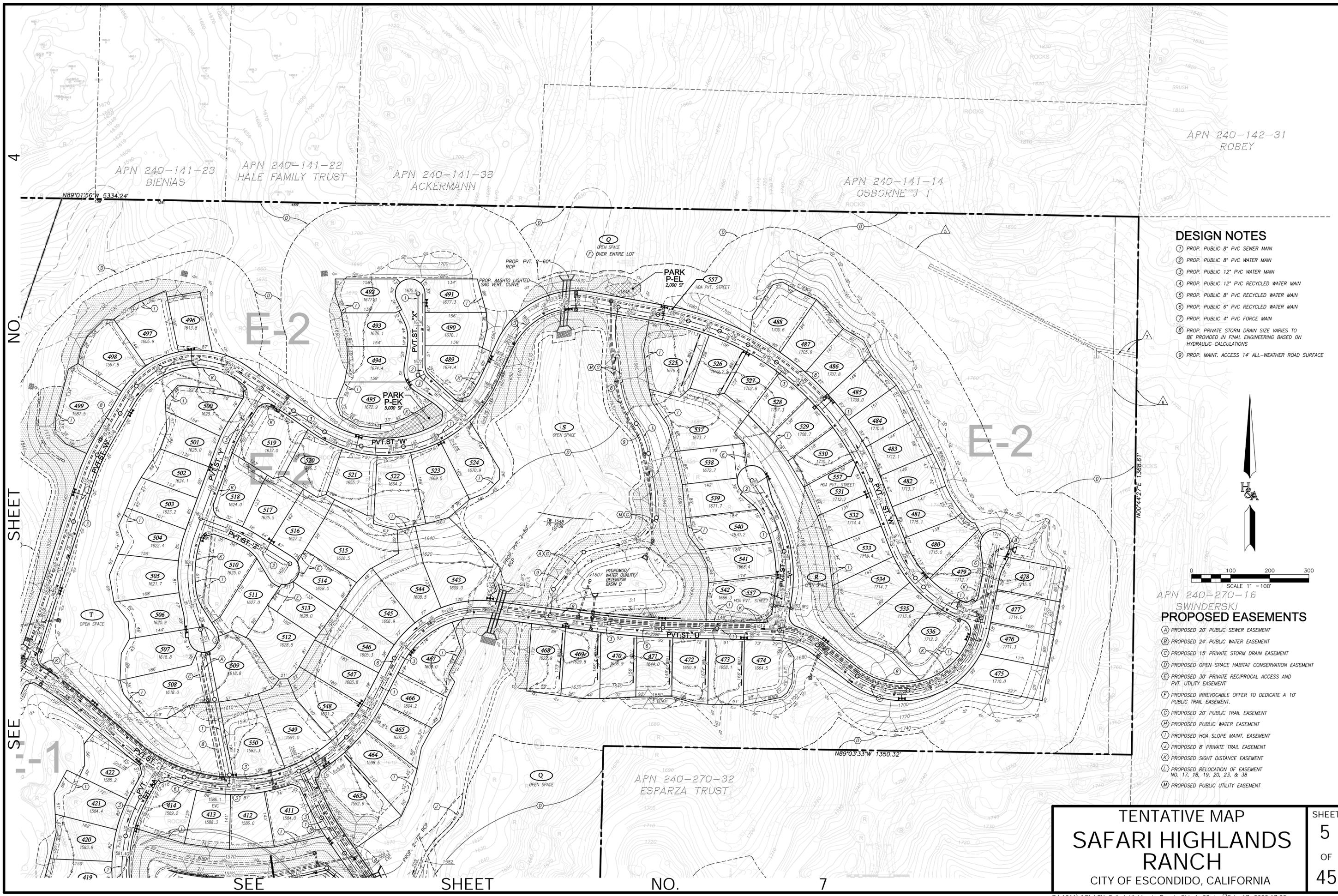


DESIGN NOTES

- ① PROP. PUBLIC 8" PVC SEWER MAIN
- ② PROP. PUBLIC 8" PVC WATER MAIN
- ③ PROP. PUBLIC 12" PVC WATER MAIN
- ④ PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
- ⑤ PROP. PUBLIC 8" PVC RECYCLED WATER MAIN
- ⑥ PROP. PUBLIC 6" PVC RECYCLED WATER MAIN
- ⑦ PROP. PUBLIC 4" PVC FORCE MAIN
- ⑧ PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
4
OF
45



APN 240-141-23
BIENIAS

APN 240-141-22
HALE FAMILY TRUST

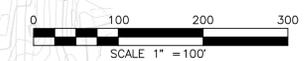
APN 240-141-38
ACKERMANN

APN 240-141-14
OSBORNE J T

APN 240-142-31
ROBEY

APN 240-270-32
ESPARZA TRUST

- DESIGN NOTES**
- ① PROP. PUBLIC 8" PVC SEWER MAIN
 - ② PROP. PUBLIC 8" PVC WATER MAIN
 - ③ PROP. PUBLIC 12" PVC WATER MAIN
 - ④ PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
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 - ⑧ PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
 - ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE



APN 240-270-16
SWINDERSKI
PROPOSED EASEMENTS

- (A) PROPOSED 20' PUBLIC SEWER EASEMENT
- (B) PROPOSED 24' PUBLIC WATER EASEMENT
- (C) PROPOSED 15' PRIVATE STORM DRAIN EASEMENT
- (D) PROPOSED OPEN SPACE HABITAT CONSERVATION EASEMENT
- (E) PROPOSED 30' PRIVATE RECIPROCAL ACCESS AND PVT. UTILITY EASEMENT
- (F) PROPOSED IRREVOCABLE OFFER TO DEDICATE A 10' PUBLIC TRAIL EASEMENT.
- (G) PROPOSED 20' PUBLIC TRAIL EASEMENT
- (H) PROPOSED PUBLIC WATER EASEMENT
- (I) PROPOSED HOA SLOPE MAINT. EASEMENT
- (J) PROPOSED 8' PRIVATE TRAIL EASEMENT
- (K) PROPOSED SIGHT DISTANCE EASEMENT
- (L) PROPOSED RELOCATION OF EASEMENT NO. 17, 18, 19, 20, 23, & 38
- (M) PROPOSED PUBLIC UTILITY EASEMENT

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
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OF
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4
NO
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SEE SHEET NO. 7

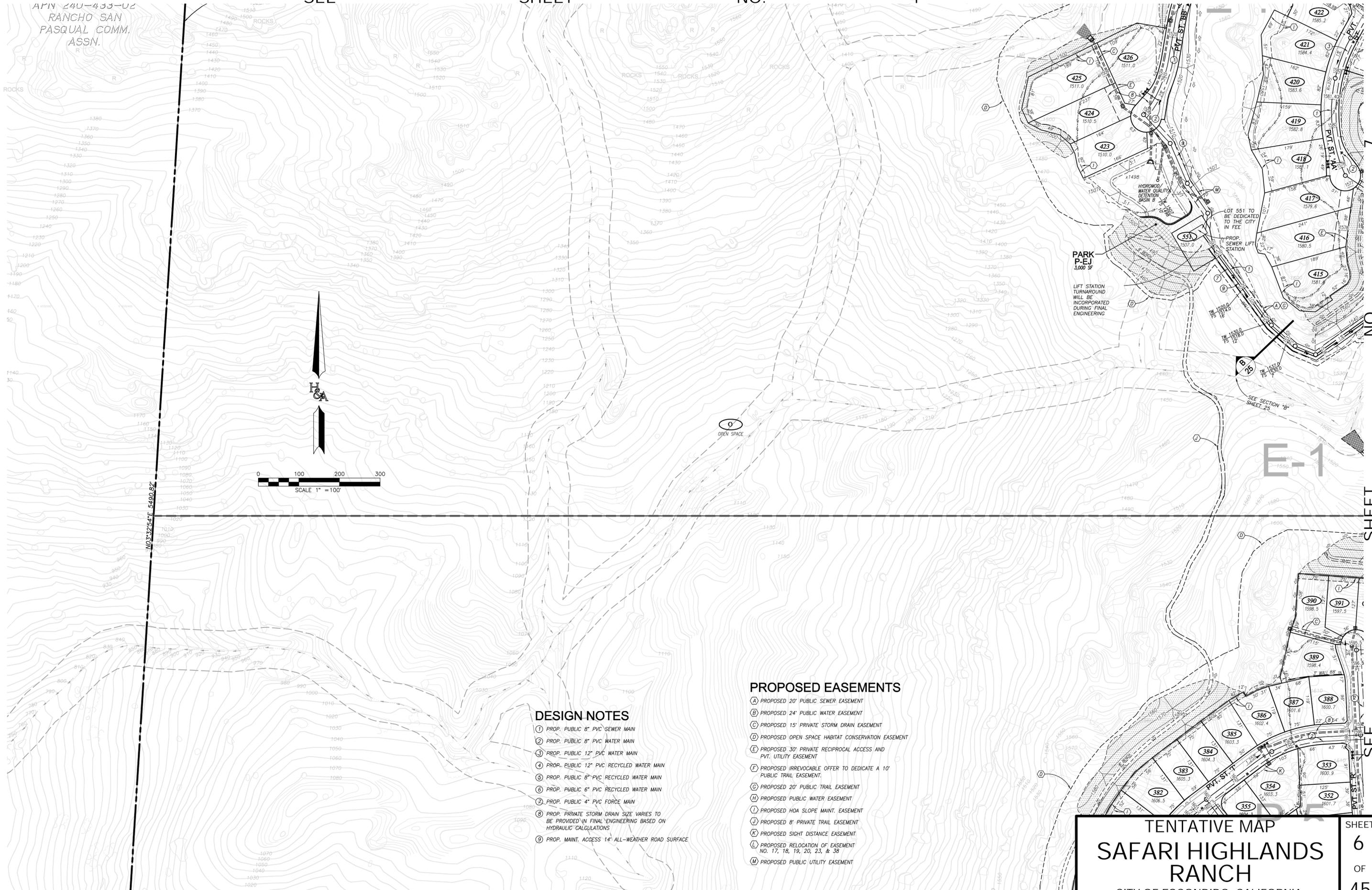
APN 240-433-02
 RANCHO SAN
 PASQUAL COMM.
 ASSN.

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SHEET

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4



DESIGN NOTES

- ① PROP. PUBLIC 8" PVC SEWER MAIN
- ② PROP. PUBLIC 8" PVC WATER MAIN
- ③ PROP. PUBLIC 12" PVC WATER MAIN
- ④ PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
- ⑤ PROP. PUBLIC 8" PVC RECYCLED WATER MAIN
- ⑥ PROP. PUBLIC 6" PVC RECYCLED WATER MAIN
- ⑦ PROP. PUBLIC 4" PVC FORCE MAIN
- ⑧ PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

PROPOSED EASEMENTS

- (A) PROPOSED 20' PUBLIC SEWER EASEMENT
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TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
6
 OF
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SEE

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N89°03'33"W 1,350.32'

APN 240-270-32
ESPARZA TRUST

APN 240-270-49
KECK

APN 240-270-48
FROCKLAGE/GRATZ

APN 240-270-52
WISNIESKI

6

NO.

SHEET

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DESIGN NOTES

- ① PROP. PUBLIC 8" PVC SEWER MAIN
- ② PROP. PUBLIC 8" PVC WATER MAIN
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- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

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- (L) PROPOSED RELOCATION OF EASEMENT NO. 17, 18, 19, 20, 23, & 38
- (M) PROPOSED PUBLIC UTILITY EASEMENT

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

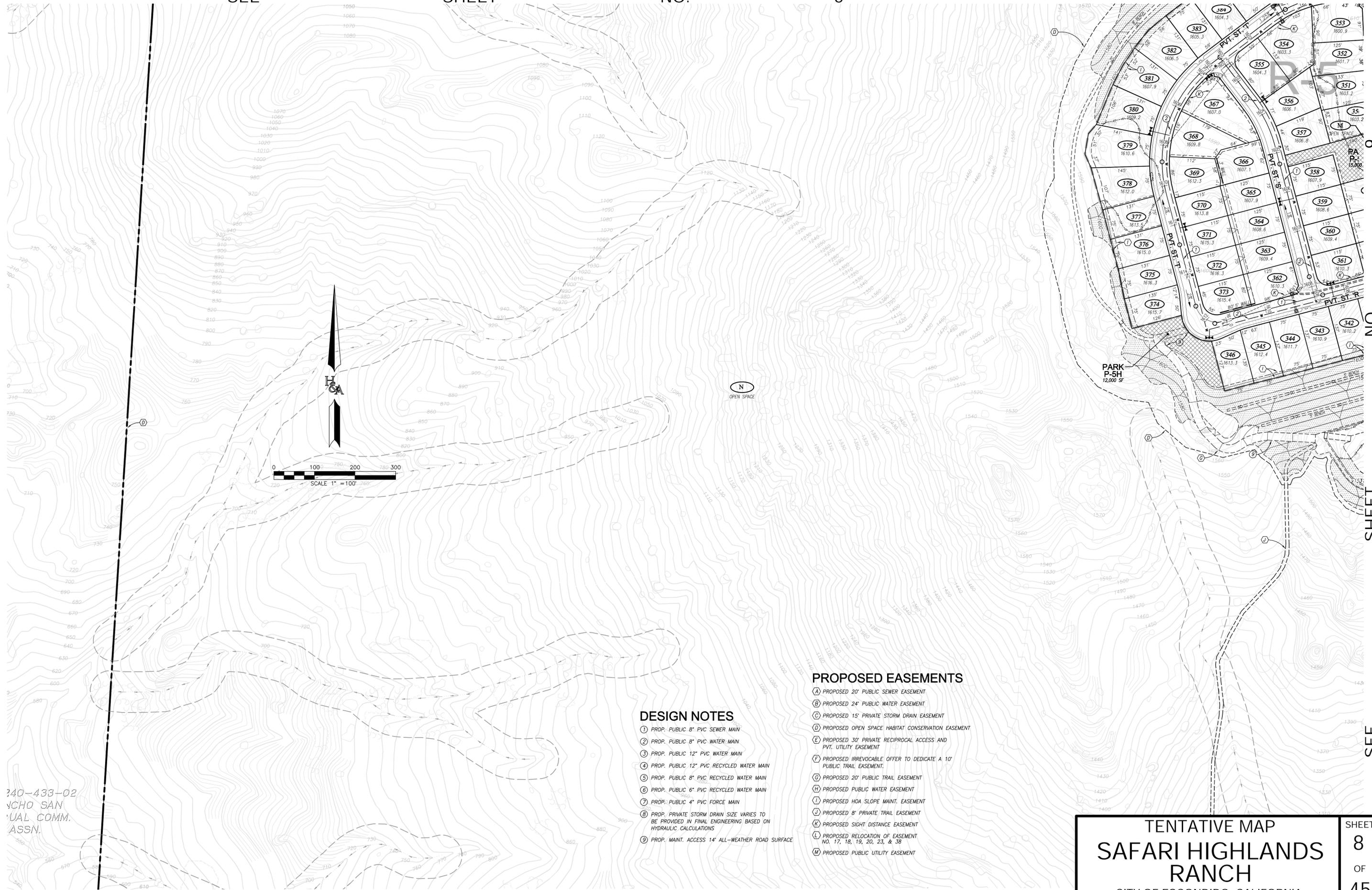
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240-433-02
 VCHO SAN
 'UAL COMM.
 ASSN.

DESIGN NOTES

- ① PROP. PUBLIC 8" PVC SEWER MAIN
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- ④ PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
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- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

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- (L) PROPOSED RELOCATION OF EASEMENT NO. 17, 18, 19, 20, 23, & 38
- (M) PROPOSED PUBLIC UTILITY EASEMENT

SEE

SHEET

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10

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
8
 OF
45

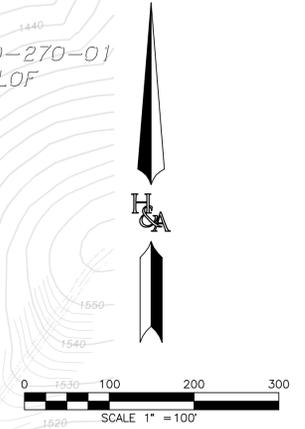


APN 240-270-55
BASH

- DESIGN NOTES**
- ① PROP. PUBLIC 8" PVC SEWER MAIN
 - ② PROP. PUBLIC 8" PVC WATER MAIN
 - ③ PROP. PUBLIC 12" PVC WATER MAIN
 - ④ PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
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 - ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

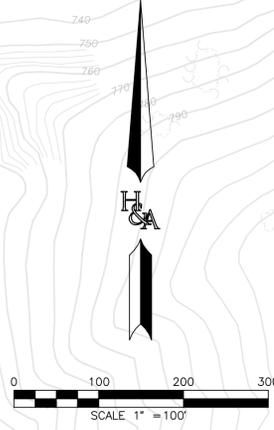
- PROPOSED EASEMENTS**
- (A) PROPOSED 20' PUBLIC SEWER EASEMENT
 - (B) PROPOSED 24' PUBLIC WATER EASEMENT
 - (C) PROPOSED 15' PRIVATE STORM DRAIN EASEMENT
 - (D) PROPOSED OPEN SPACE HABITAT CONSERVATION EASEMENT
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 - (K) PROPOSED SIGHT DISTANCE EASEMENT
 - (L) PROPOSED RELOCATION OF EASEMENT NO. 17, 18, 19, 20, 23, & 38
 - (M) PROPOSED PUBLIC UTILITY EASEMENT

APN 240-270-01
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TENTATIVE MAP
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
9
OF
45



DESIGN NOTES

- ① PROP. PUBLIC 8" PVC SEWER MAIN
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- ⑧ PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

PROPOSED EASEMENTS

- (A) PROPOSED 20' PUBLIC SEWER EASEMENT
- (B) PROPOSED 24' PUBLIC WATER EASEMENT
- (C) PROPOSED 15' PRIVATE STORM DRAIN EASEMENT
- (D) PROPOSED OPEN SPACE HABITAT CONSERVATION EASEMENT
- (E) PROPOSED 30' PRIVATE RECIPROCAL ACCESS AND PVT. UTILITY EASEMENT
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- (M) PROPOSED PUBLIC UTILITY EASEMENT

PARK P-1A
15,000 SF

HAMMERHEAD TURN AROUND PER ESCONDIDO STANDARD DRAWING FIG. 18 & ESCONDIDO FIRE DEPT REQ. SEE SHEET 18 FOR DETAIL

SEE SHEET 17 FOR FIRE TRUCK ACCESS TYPICAL

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SEE

SHEET

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SHEET

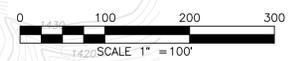
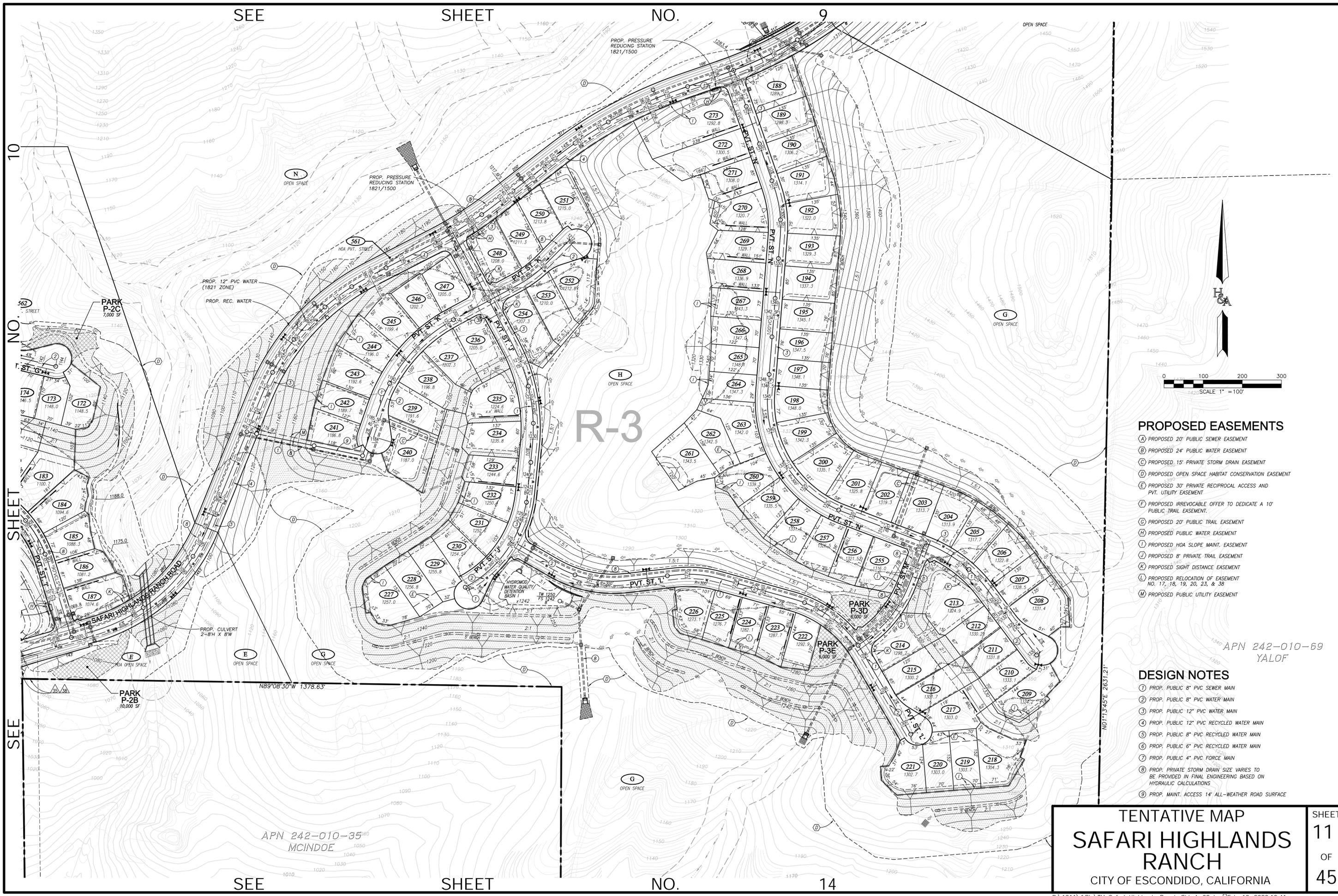
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14



PROPOSED EASEMENTS

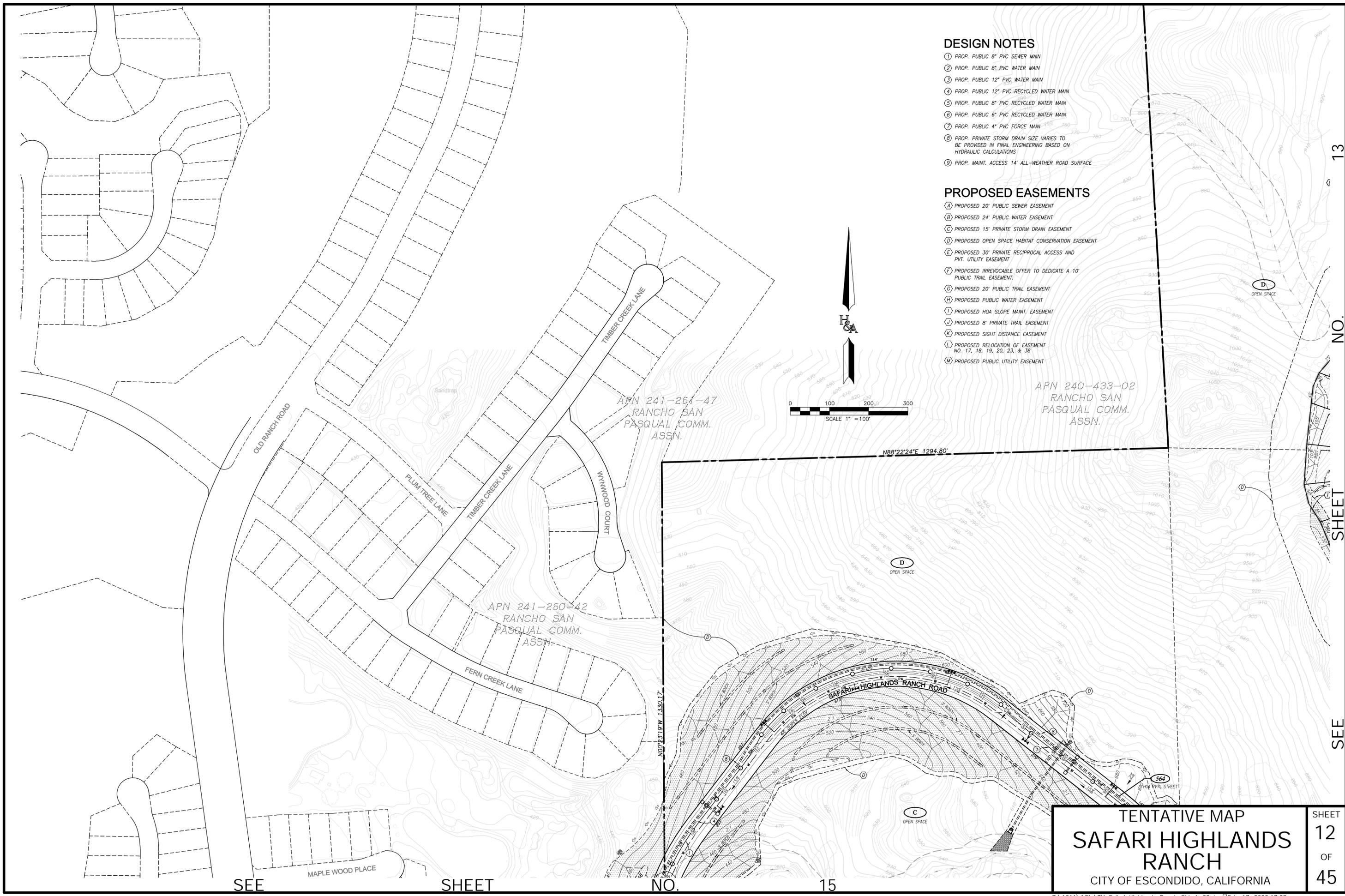
- (A) PROPOSED 20' PUBLIC SEWER EASEMENT
- (B) PROPOSED 24' PUBLIC WATER EASEMENT
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DESIGN NOTES

- (1) PROP. PUBLIC 8" PVC SEWER MAIN
- (2) PROP. PUBLIC 8" PVC WATER MAIN
- (3) PROP. PUBLIC 12" PVC WATER MAIN
- (4) PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
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- (7) PROP. PUBLIC 4" PVC FORCE MAIN
- (8) PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
- (9) PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
11
 OF
45

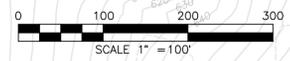


DESIGN NOTES

- ① PROP. PUBLIC 8" PVC SEWER MAIN
- ② PROP. PUBLIC 8" PVC WATER MAIN
- ③ PROP. PUBLIC 12" PVC WATER MAIN
- ④ PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
- ⑤ PROP. PUBLIC 8" PVC RECYCLED WATER MAIN
- ⑥ PROP. PUBLIC 6" PVC RECYCLED WATER MAIN
- ⑦ PROP. PUBLIC 4" PVC FORCE MAIN
- ⑧ PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

PROPOSED EASEMENTS

- (A) PROPOSED 20' PUBLIC SEWER EASEMENT
- (B) PROPOSED 24' PUBLIC WATER EASEMENT
- (C) PROPOSED 15' PRIVATE STORM DRAIN EASEMENT
- (D) PROPOSED OPEN SPACE HABITAT CONSERVATION EASEMENT
- (E) PROPOSED 30' PRIVATE RECIPROCAL ACCESS AND PVT. UTILITY EASEMENT
- (F) PROPOSED IRREVOCABLE OFFER TO DEDICATE A 10' PUBLIC TRAIL EASEMENT.
- (G) PROPOSED 20' PUBLIC TRAIL EASEMENT
- (H) PROPOSED PUBLIC WATER EASEMENT
- (I) PROPOSED HOA SLOPE MAINT. EASEMENT
- (J) PROPOSED 8' PRIVATE TRAIL EASEMENT
- (K) PROPOSED SIGHT DISTANCE EASEMENT
- (L) PROPOSED RELOCATION OF EASEMENT NO. 17, 18, 19, 20, 23, & 38
- (M) PROPOSED PUBLIC UTILITY EASEMENT



N88°22'24"E 1294.80'

APN 240-433-02
RANCHO SAN PASQUAL COMM. ASSN.

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
12
OF
45

SEE

SHEET

NO.

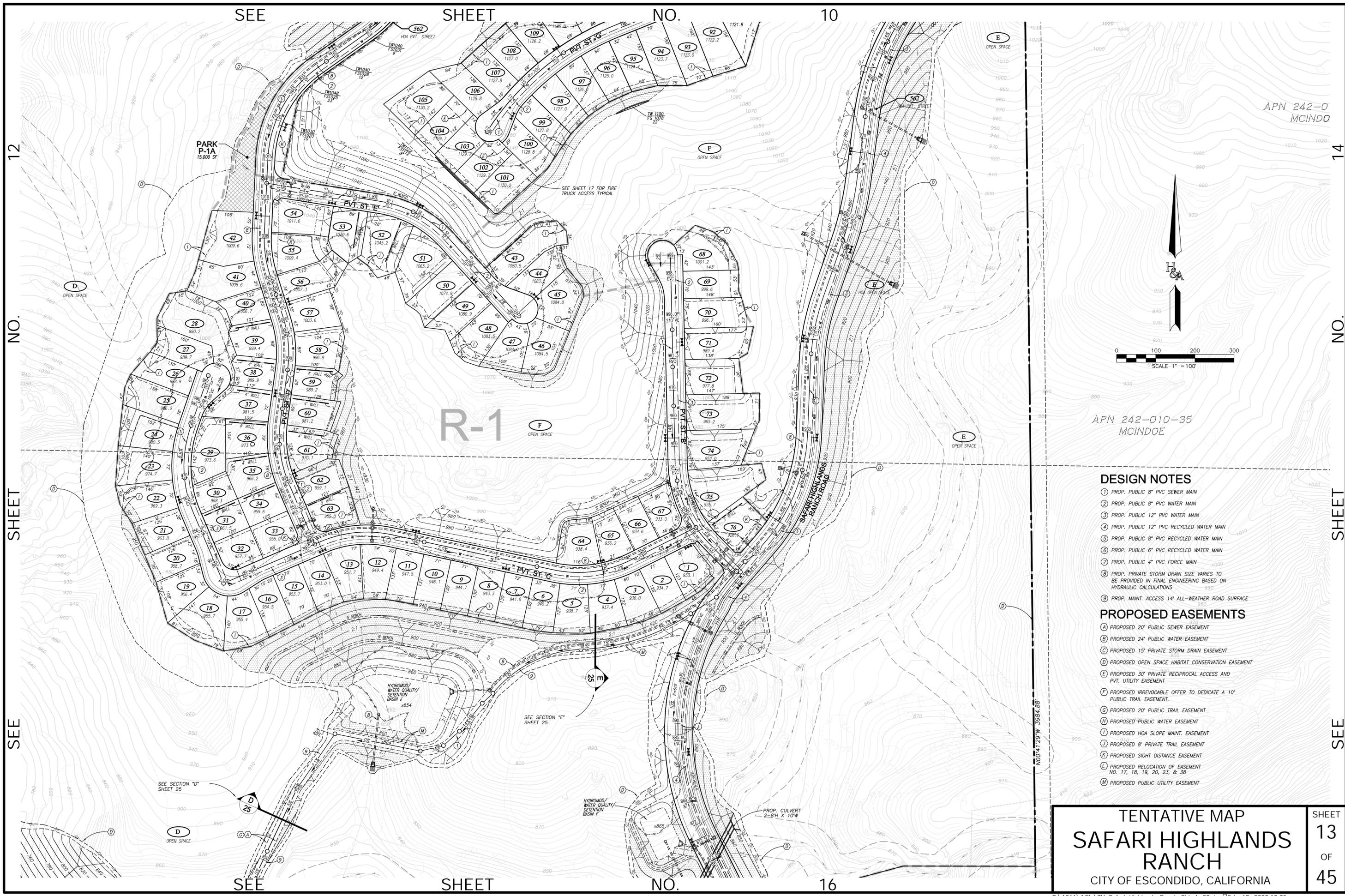
15

13

NO.

SHEET

SEE

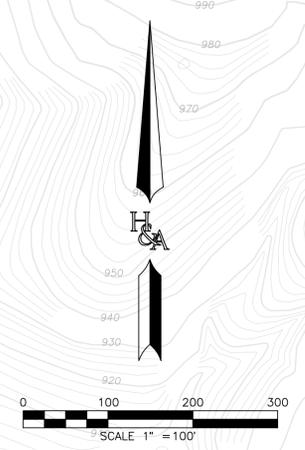


SEE SHEET NO. 12

SHEET NO. 13

SEE SHEET NO. 14

APN 242-0
MCINDO



APN 242-010-35
MCINDOE

DESIGN NOTES

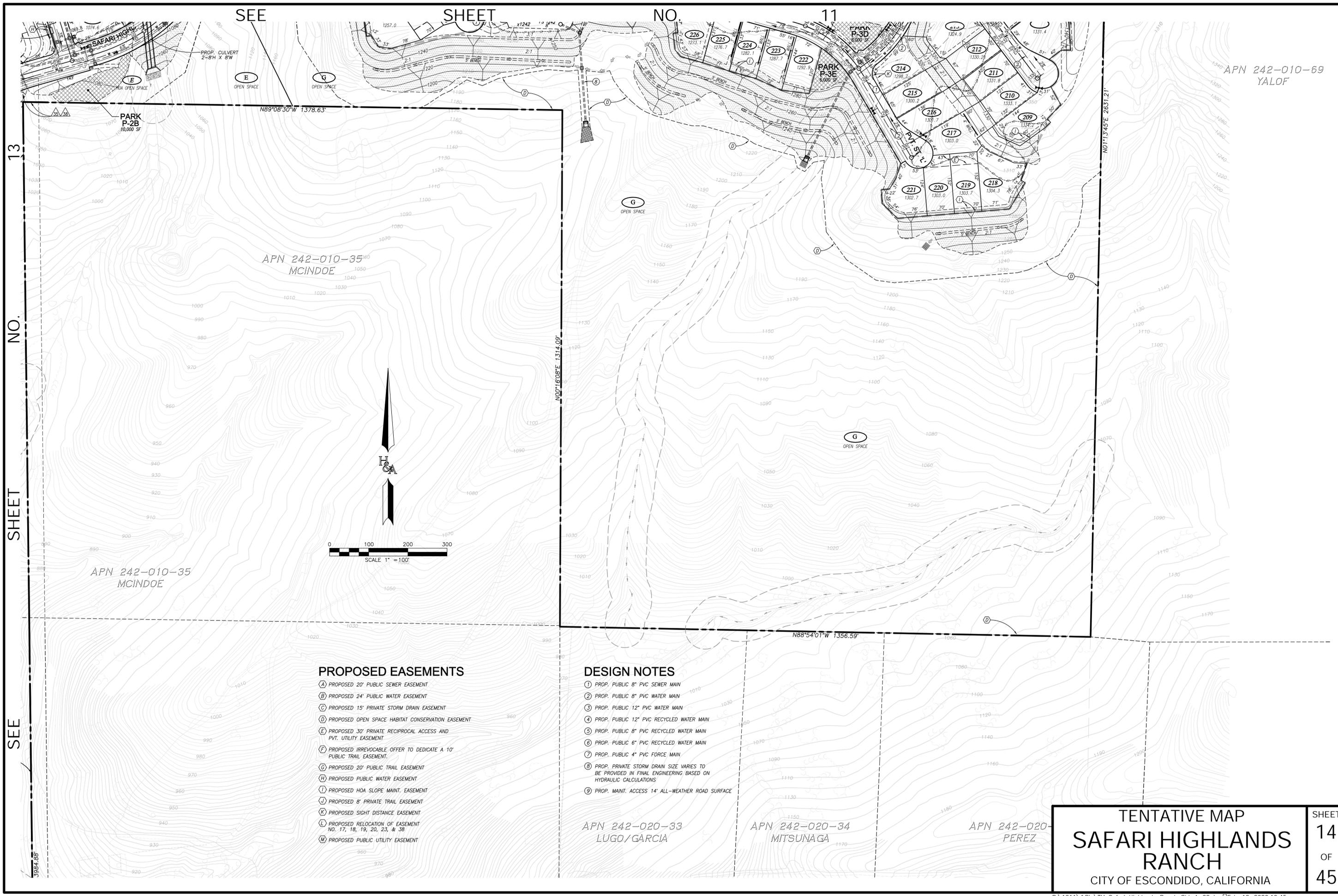
- 1 PROP. PUBLIC 8" PVC SEWER MAIN
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- 3 PROP. PUBLIC 12" PVC WATER MAIN
- 4 PROP. PUBLIC 12" PVC RECYCLED WATER MAIN
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- 7 PROP. PUBLIC 4" PVC FORCE MAIN
- 8 PROP. PRIVATE STORM DRAIN SIZE VARIES TO BE PROVIDED IN FINAL ENGINEERING BASED ON HYDRAULIC CALCULATIONS
- 9 PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

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TENTATIVE MAP
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
13
OF
45



SEE SHEET NO. 13

SEE SHEET NO. 12

SEE SHEET NO. 14

SEE

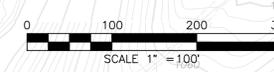
SHEET NO. 11

APN 242-010-69
YALOF

N89°08'30"W 1378.63'

APN 242-010-35
MCINDOE

APN 242-010-35
MCINDOE



PROPOSED EASEMENTS

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- ⑨ PROP. MAINT. ACCESS 14' ALL-WEATHER ROAD SURFACE

APN 242-020-33
LUGO/GARCIA

APN 242-020-34
MITSUNAGA

APN 242-020-35
PEREZ

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
14
OF
45



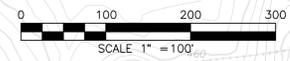
WALL AND GRADING TO PROVIDE MIN. ELEV. OF 760 TO PROVIDE REQUIRED FREEBOARD IN STREAM "C" SEE SECTION "C" SHEET 25

DESIGN NOTES

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TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
15
 OF
45

SEE

SHEET

NO.

13

NO. 15

SHEET

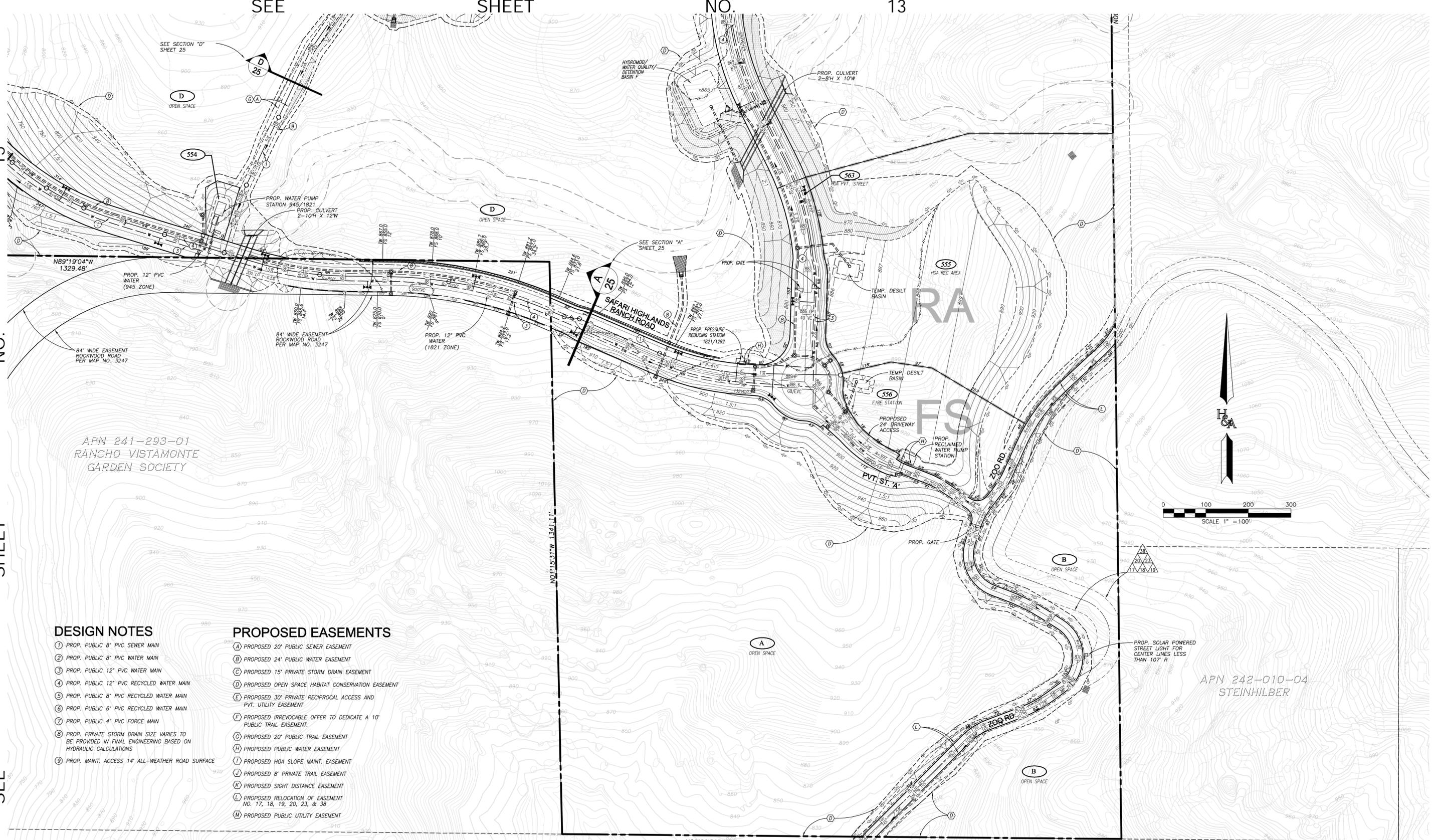
SEE

SEE

SHEET

NO.

17

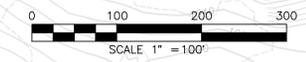


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TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
16
 OF
45

APN 242-060-11
CITY OF SAN DIEGO

N89°29'59"W 1316.11'

EMERGENCY ACCESS ROAD
PER SETTLEMENT
AGREEMENT DOC 73-286259

ZOO
ROAD

H
C
A



FIRE TRUCK DRIVE
LENGTH LESS THAN 150'
NO TURN AROUND REQ.

HOSE PULL
LENGTH

FIRE TRUCK
9' X 43'

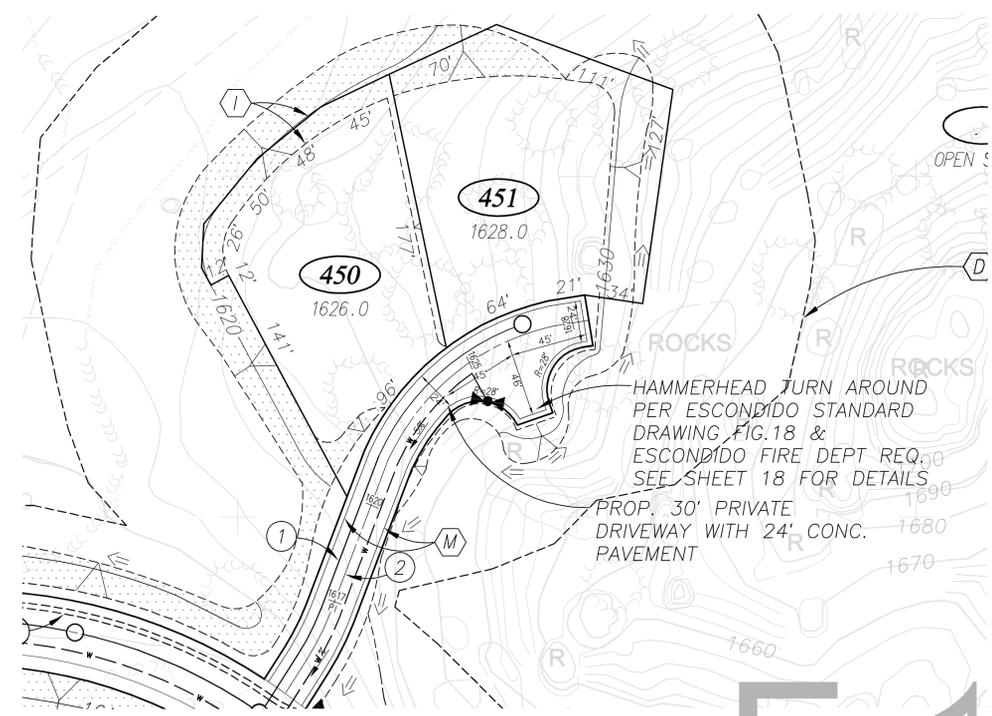
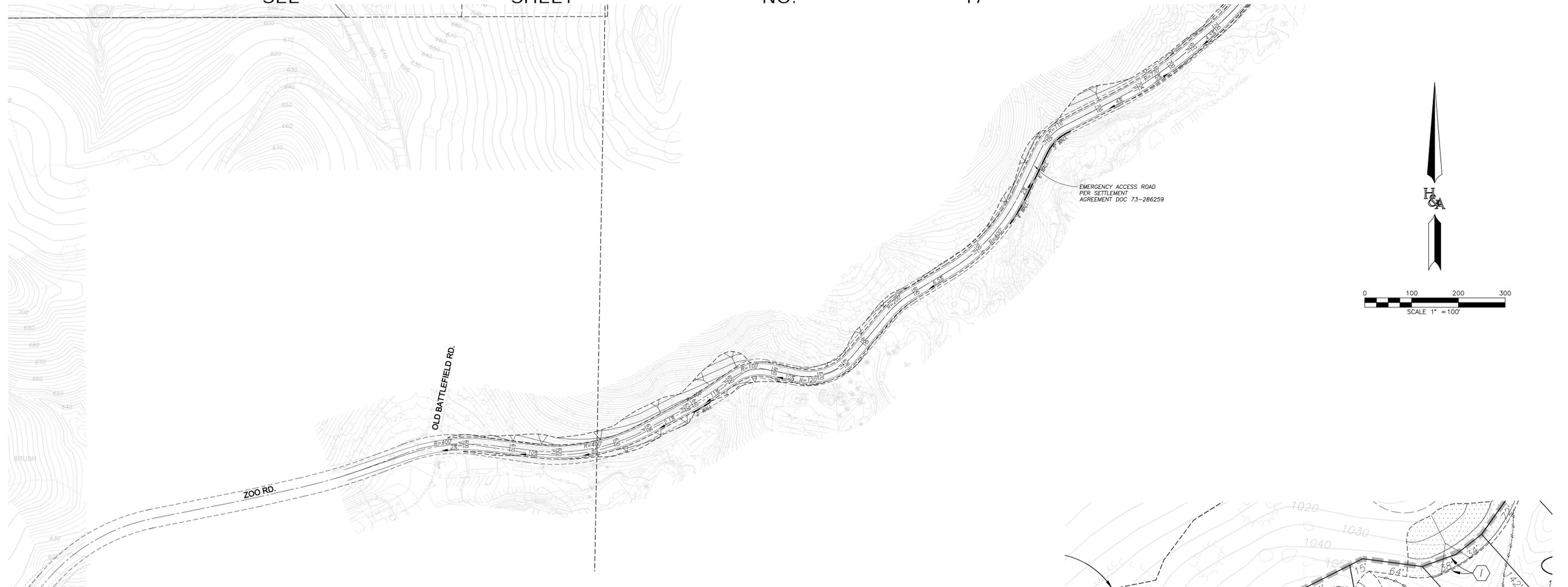


TYPICAL ACCESS FOR FIRE TRUCKS ON FLAG LOTS
FIRE TRUCK ACCESS TYP.

SCALE: 1"=40'

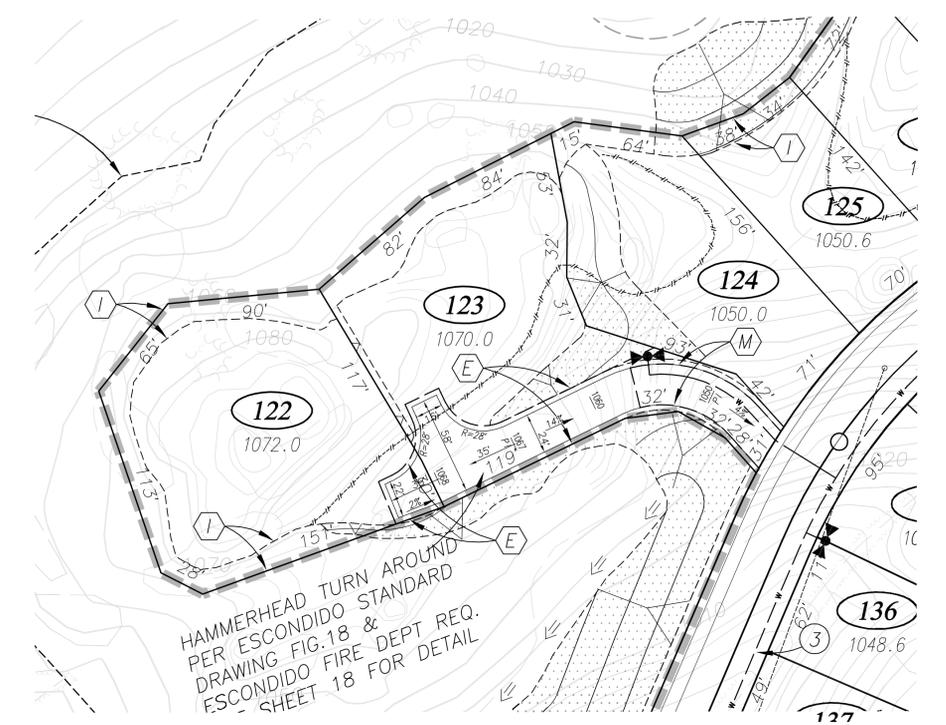
TENTATIVE MAP
SAFARI HIGHLANDS
RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
17
OF
45



FIRE TRUCK TURN-AROUND

SCALE: 1"=50'



FIRE TRUCK TURN-AROUND

SCALE: 1"=50'

TENTATIVE MAP
SAFARI HIGHLANDS
RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
18
OF
45

20

NO

SHEET

SEE

3-01
4/1
MM

-120-15
VAND

APN 240-120-16
ASHRAF

APN 240-251-01
FIALKO

APN 240-251-05
SAMUEL/KAT

APN 240-251-06
SUN

APN 240-251-04
ANNETT

APN 240-251-02
ANNETT

APN 240-251-07
SUN

APN 240-433-
RANCHO SAN
PASQUAL COMM
ASSN

NO

SHEET

SEE

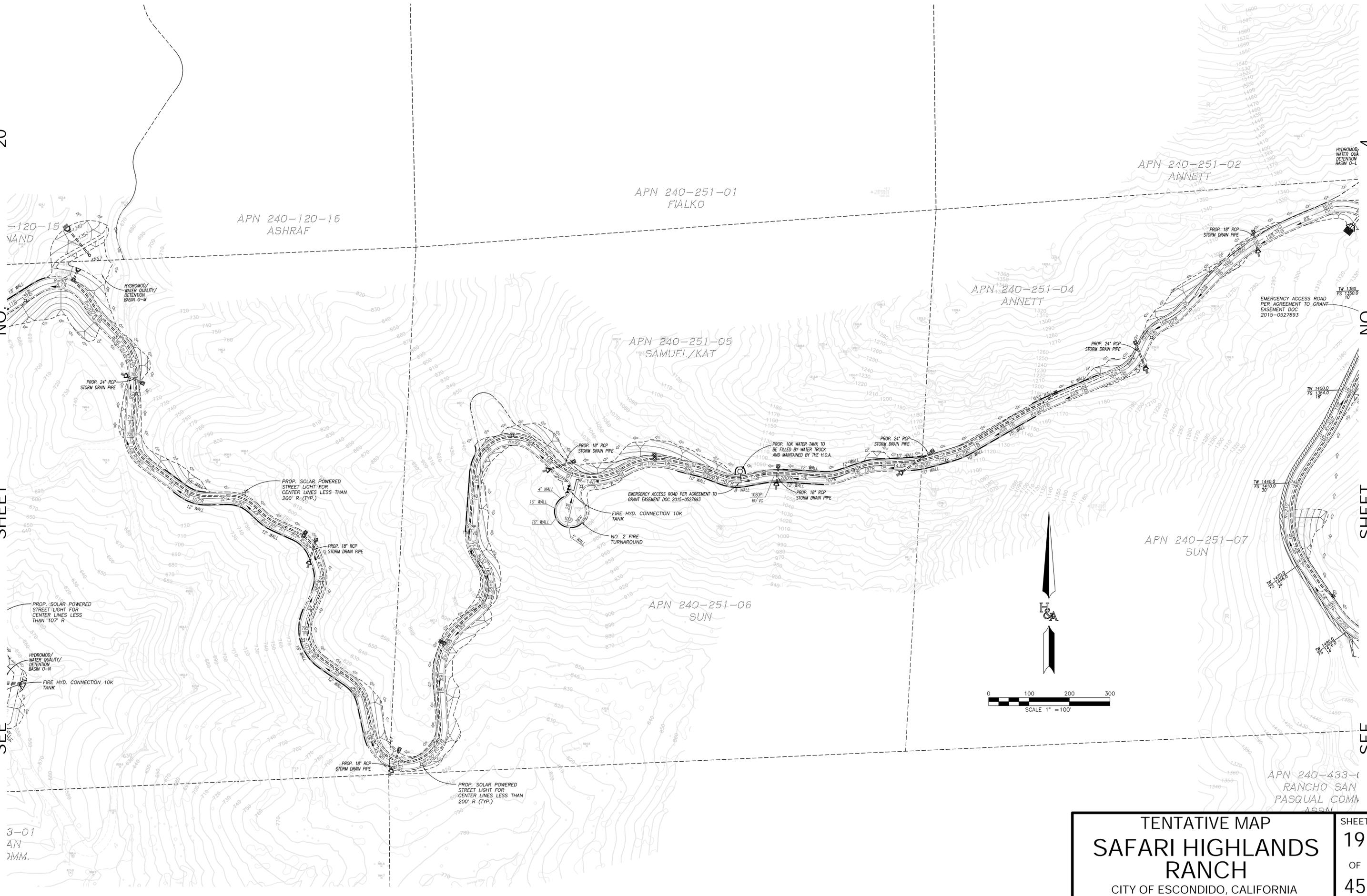
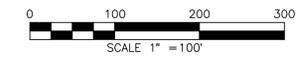
SHEET

19

OF

45

TENTATIVE MAP
SAFARI HIGHLANDS
RANCH
CITY OF ESCONDIDO, CALIFORNIA



SEE

SHEET

NO.

21

APN 240-120-12
SUN

OLD QUEJITO GRADE ROAD

STONEBRIDGE ROAD

OLD QUEJITO ROAD

PROP. SOLAR POWERED STREET LIGHT FOR FIRE TURNAROUND

NO. 1 FIRE TURNAROUND

APN 240-120-15
BURNAND

APN 240-241-06
SUN

STONEBRIDGE ROAD

EMERGENCY ACCESS ROAD PER AGREEMENT TO GRANT EASEMENT DOC 2015-0527693

PROP. 10K WATER TANK TO BE FILLED BY WATER TRUCK AND MAINTAINED BY THE H.O.A.

PROP. 24" RCP STORM DRAIN PIPE

HYDRON WATER DEFENT. BASIN C

APN 240-250-03
SUN

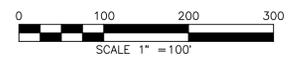
PROP. SOLAR POWERED STREET LIGHT FOR CENTER LINES LESS THAN 107' R

PROP. SOLAR POWERED STREET LIGHT FOR CENTER LINES LESS THAN 107' R AND FIRE HYD. CONNECTION

HYDROMOD/WATER QUALITY CATCHMENT BASIN O-N

FIRE HYD. CONNECTION 10K TANK

TRIPLE BOX CULVERT 3 12"X12" BOXES 7,500 GFS



TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
20
 OF
45

19

NO.

SHEET

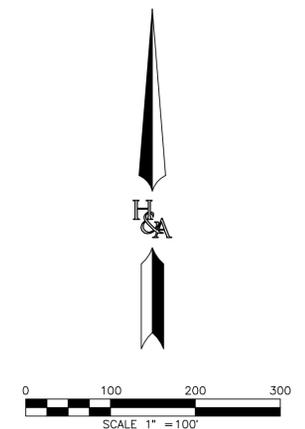
SEE

SEE

SHEET

NO.

22



SEE

SHEET

NO.

20

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
21
 OF
45



SEE

SHEET

NO.

21

TENTATIVE MAP
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
22
 OF
45

R-1	
LOT #	LOT AREA SF
1	10,118
2	8,869
3	9,972
4	10,103
5	10,288
6	9,725
7	9,370
8	9,223
9	9,258
10	9,261
11	9,487
12	10,263
13	10,150
14	9,253
15	9,381
16	9,574
17	12,305
18	14,282
19	10,624
20	9,404
21	10,194
22	12,121
23	12,374
24	12,662
25	12,265
26	10,051
27	10,429
28	21,790
29	12,625
30	7,434
31	7,895
32	8,437
33	8,997
34	8,219
35	10,053
36	9,828
37	11,958
38	8,324
39	9,750
40	8,192
41	13,753
42	16,297
43	15,291
44	9,839
45	12,422
46	11,858
47	10,512
48	12,066
49	10,152
50	12,190
51	14,781
52	15,343
53	10,719
54	12,536
55	11,925
56	12,504
57	10,487
58	11,814

R-1 (CONTINUED)	
LOT #	LOT AREA SF
59	8,833
60	9,336
61	11,351
62	10,454
63	10,040
64	10,866
65	9,062
66	8,377
67	9,165
68	12,944
69	9,983
70	11,791
71	13,182
72	12,721
73	16,931
74	14,927
75	17,656
76	11,553
RES. SUBTOTAL SF	848,169
RES. SUBTOTAL AC	19.5
MAX	21,790
MIN	7,434
RES. AVG LOT SIZE	11,160
TOTAL SF	848,169
TOTAL AC	19.47

R-2	
LOT #	LOT AREA SF
77	13,122
78	10,668
79	8,133
80	8,221
81	7,619
82	8,582
83	8,751
84	8,697
85	8,860
86	9,167
87	8,897
88	10,538
89	10,832
90	9,095
91	11,807
92	14,459
93	12,660
94	11,622
95	10,387
96	10,062
97	9,901
98	10,030
99	10,137
100	9,369
101	11,942
102	9,630
103	8,585
104	9,940
105	14,370
106	11,007
107	9,446
108	9,812
109	9,803
110	9,779
111	9,621
112	9,205
113	9,022
114	9,707
115	12,649
116	11,506
117	12,477
118	14,805
119	20,796
120	9,598
121	11,291
122	23,899
123	25,873
124	17,388
125	10,141
126	11,099
127	11,870
128	11,990
129	14,625
130	11,872
131	18,380
132	24,592
133	12,380
134	10,995
135	10,614
136	10,319
137	10,029
138	17,184
139	12,577

R-2 (CONTINUED)	
LOT #	LOT AREA SF
140	12,809
141	16,007
142	13,958
143	14,868
144	11,372
145	9,859
146	9,005
147	8,050
148	9,028
149	11,089
150	14,769
151	8,962
152	10,215
153	11,746
154	8,687
155	7,663
156	8,108
157	8,108
158	7,663
159	7,663
160	7,663
161	13,128
162	11,990
163	11,363
164	11,120
165	10,886
166	14,718
167	11,763
168	11,406
169	11,164
170	8,167
171	8,968
172	10,862
173	7,893
174	7,700
175	8,078
176	7,855
177	9,985
178	8,553
179	9,770
180	14,464
181	12,497
182	17,593
183	19,924
184	13,398
185	9,976
186	9,464
187	13,283
RES. SUBTOTAL SF	1,263,617
RES. SUBTOTAL AC	29.0
MAX	25,873
MIN	7,619
RES. AVG LOT SIZE	11,384
TOTAL SF	1,263,617
TOTAL AC	29.01

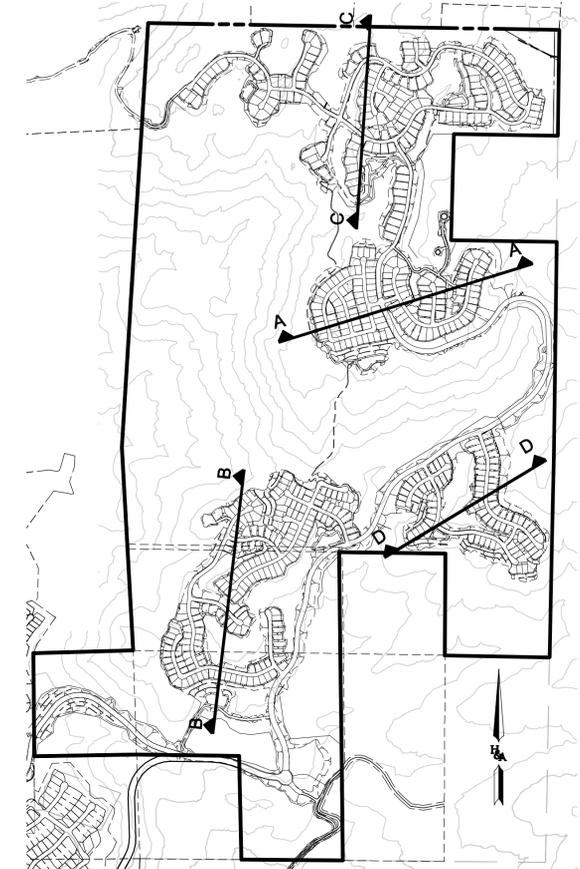
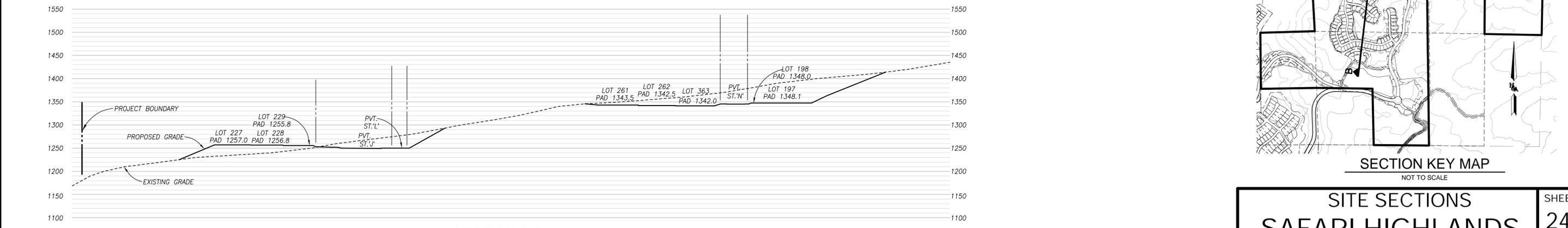
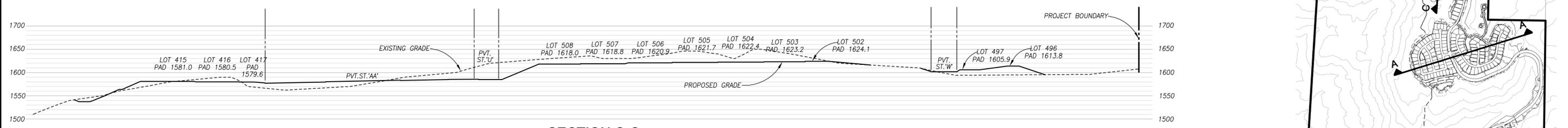
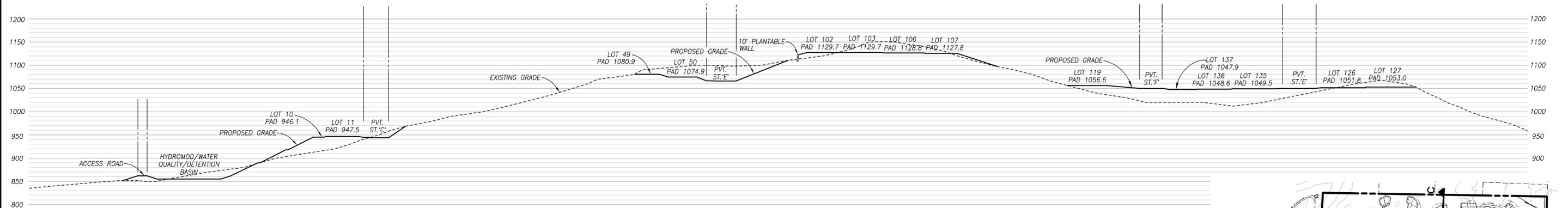
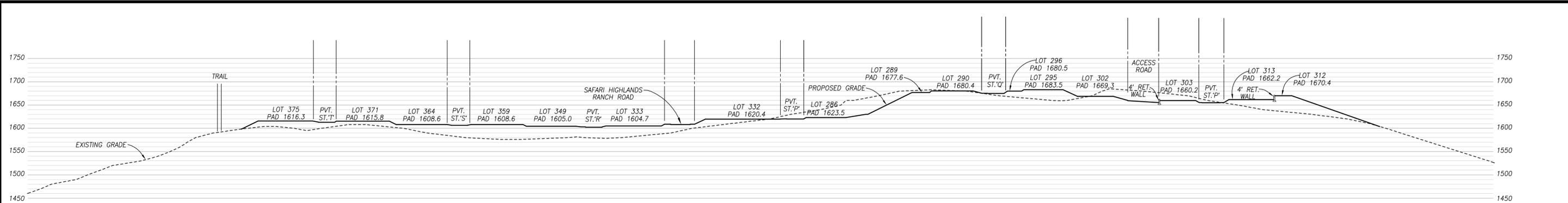
R-3	
LOT #	LOT AREA SF
188	13,530
189	10,668
190	11,172
191	12,224
192	12,303
193	11,464
194	11,502
195	10,206
196	10,206
197	9,446
198	10,248
199	11,131
200	12,462
201	12,088
202	10,564
203	12,537
204	11,491
205	11,243
206	11,635
207	9,557
208	14,435
209	12,989
210	8,607
211	8,483
212	8,749
213	21,322
214	14,470
215	13,173
216	13,454
217	14,123
218	14,318
219	10,644
220	10,113
221	11,746
222	9,336
223	9,852
224	9,458
225	9,363
226	10,922
227	12,926
228	11,001
229	10,700
230	9,717
231	10,532
232	10,233
233	9,559
234	12,406

R-3 (CONTINUED)	
LOT #	LOT AREA SF
235	14,046
236	13,105
237	11,562
238	13,790
239	11,422
240	16,658
241	9,515
242	9,227
243	11,271
244	11,518
245	10,017
246	9,266
247	10,078
248	13,198
249	9,985
250	9,389
251	12,662
252	13,167
253	11,875
254	14,713
255	12,319
256	9,740
257	11,097
258	11,492
259	11,327
260	11,957
261	15,233
262	15,034
263	14,345
264	8,778
265	8,536
266	8,807
267	9,601
268	10,336
269	10,842
270	12,346
271	11,416
272	16,379
273	28,415
RES. SUBTOTAL SF	1,009,257
RES. SUBTOTAL AC	23.2
MAX	28,415
MIN	8,483
RES. AVG LOT SIZE	11,736
TOTAL SF	1,009,257
TOTAL AC	23.17

R-4	
LOT #	LOT AREA SF
274	10,723
275	10,103
276	9,474
277	9,139
278	10,761
279	15,780
280	13,905
281	13,733
282	14,133
283	13,082
284	12,538
285	13,110
286	11,523
287	14,942
288	14,015
289	12,712
290	13,939
291	11,939
292	15,922
293	16,047
294	15,257
295	9,092
296	9,107
297	10,507
298	10,866
299	14,780
300	17,448
301	15,034
302	25,423
303	16,218
304	12,861
305	11,733
306	14,435
307	16,025
308	15,735
309	14,983
310	11,073
311	12,504
312	12,087
313	11,732
314	11,427
315	11,286
316	11,258
317	12,613
318	14,896
319	12,318
320	11,518
321	10,263
322	10,067
323	10,278
324	12,345
325	14,807
326	16,569
327	17,264
328	17,324
329	14,932
330	13,352
331	13,600
332	15,146
RES. SUBTOTAL SF	785,683
RES. SUBTOTAL AC	18.0
MAX	25,423
MIN	9,092
RES. AVG LOT SIZE	13,317
TOTAL SF	785,683
TOTAL AC	18.04

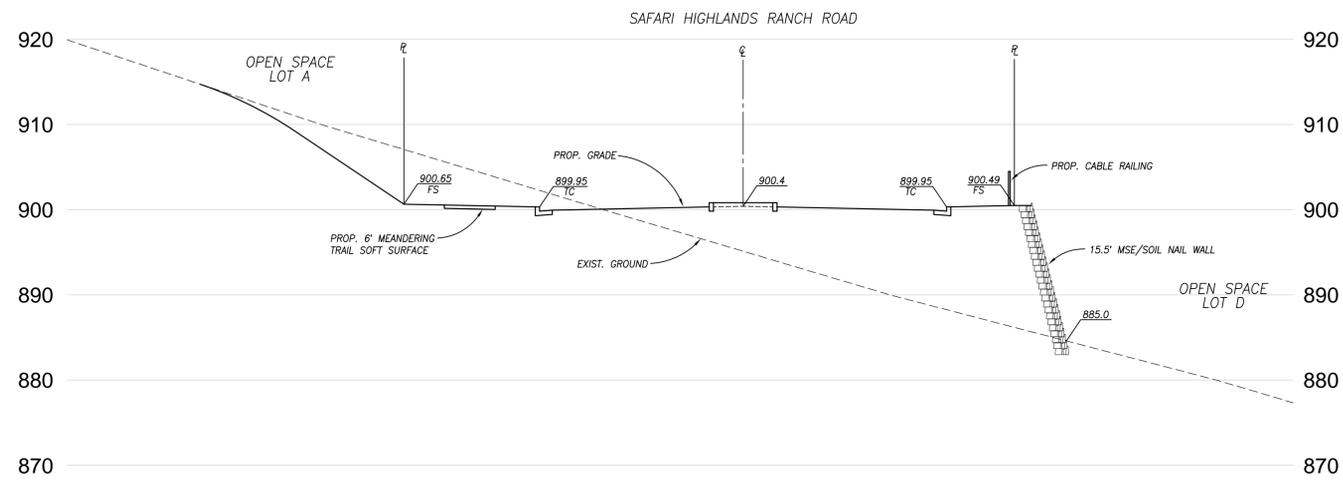
R-5	
LOT #	LOT AREA SF
333	9,900
334	10,387
335	11,205
336	11,616
337	13,173
338	11,918
339	9,515
340	10,887
341	10,678
342	10,336
343	10,302
344	10,302
345	10,246
346	9,712
347	10,490
348	9,476
349	9,443
350	9,853
351	10,309
352	10,015
353	11,838
354	15,267
355	11,014
356	11,064
357	9,573
358	8,625
359	8,625
360	8,625
361	9,372
362	9,882
363	9,365
364	9,371
365	9,377
366	10,090
367	15,991
368	12,347
369	9,952
370	8,625
371	8,625
372	8,625
373	8,938
374	9,906
375	9,992
376	9,825
377	9,825
378	12,296
379	14,206
380	12,083
381	11,745
382	12,323
383	9,817
384	9,825
385	10,444
386	11,051
387	10,355
388	10,128
389	13,046
390	12,990
391	10,180
392	10,023
393	12,460
394	10,852
395	10,073
396	9,858
397	9,761
398	10,060
399	10,074
400	9,998
RES. SUBTOTAL SF	721,694
RES. SUBTOTAL AC	16.6
MAX	15,991
MIN	8,625
RES. AVG LOT SIZE	10,613
TOTAL SF	721,694
TOTAL AC	16.57

E-1		
LOT #	LOT AREA SF	NET PAD AREA SF
401	17,140	15,700
402	17,312	15,045
403	17,437	15,180
404	17,004	14,700
405	15,909	13,400
406	15,531	13,130
407	17,578	15,240
408	18,832	16,390
409	17,823	14,880
410	16,248	14,060
411	15,594	11,555
412	14,082	11,990
413	14,068	12,375
414	16,376	13,090
415	19,778	17,500
416	19,996	18,925
417	18,789	17,005
418	16,492	14,775
419	17,396	15,365
420	15,062	13,320
421	17,188	13,670
422	15,960	13,335
423	15,152	13,985
424	18,071	16,400
425	23,266	19,620
426	21,685	17,815
427	15,814	12,070
428	14,942	11,760
429	14,332	11,670
430	13,597	10,385
431	13,273	12,930
432	21,057	13,910
433	17,269	12,705
434	20,551	17,805
435	19,171	16,760
436	15,618	14,115
437	14,555	13,600



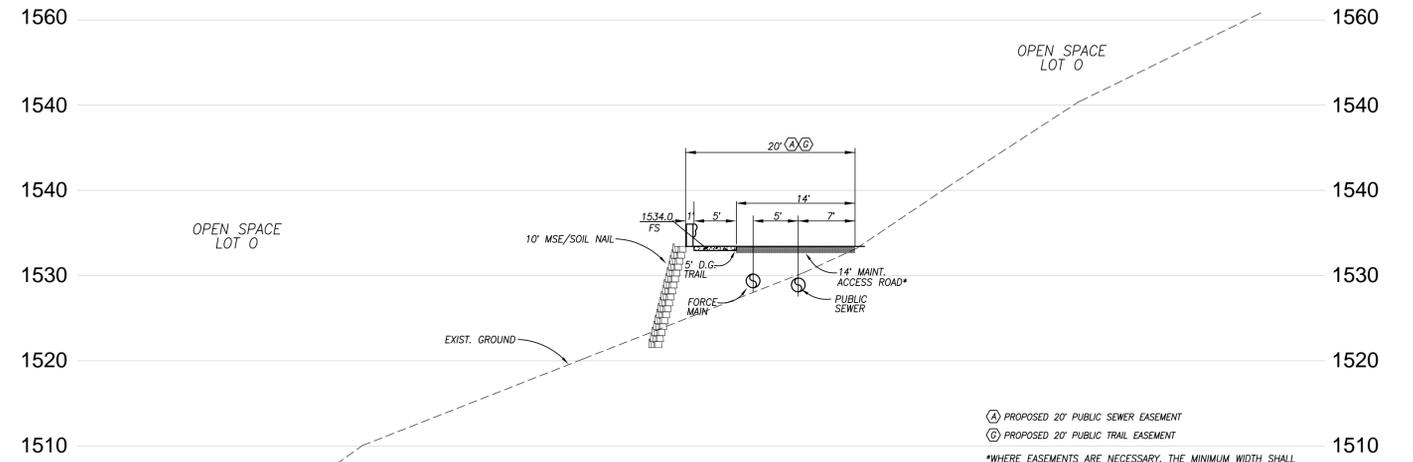
SITE SECTIONS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
24
OF
45



SEE SHEET 16 FOR SECTION LOCATION
SECTION "A"

SCALE: HORIZ/VERT 1"=10'

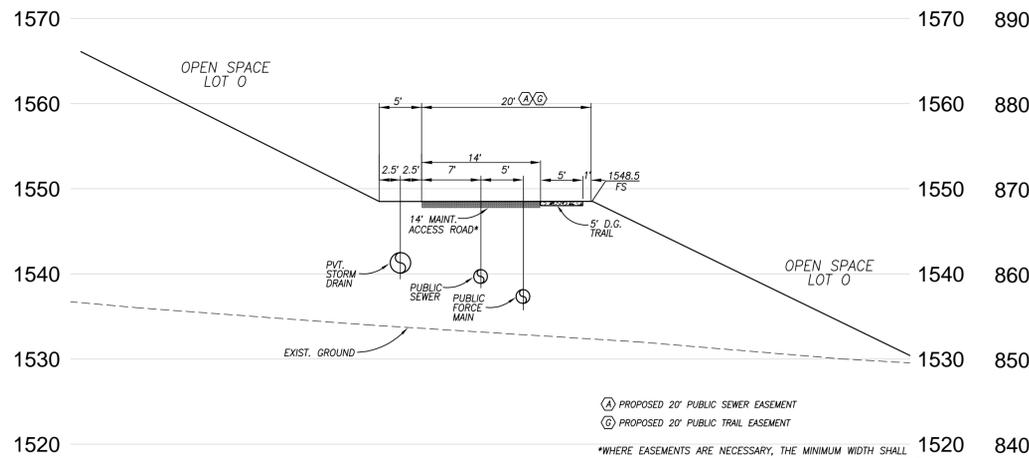


SEE SHEET 6 FOR SECTION LOCATION
SECTION "B"

SCALE: HORIZ/VERT 1"=10'

- Ⓐ PROPOSED 20' PUBLIC SEWER EASEMENT
- Ⓞ PROPOSED 20' PUBLIC TRAIL EASEMENT

*WHERE EASEMENTS ARE NECESSARY, THE MINIMUM WIDTH SHALL BE 20', WITH AN ALL-WEATHER ROAD SURFACE. GRADES OVER 10% SHALL BE PAVED WITH CONCRETE. EASEMENT ROADS SHALL HAVE A 25' MIN. INSIDE RADIUS, 5% MAX. CROSS-SLOPE & 15% MAX GRADE

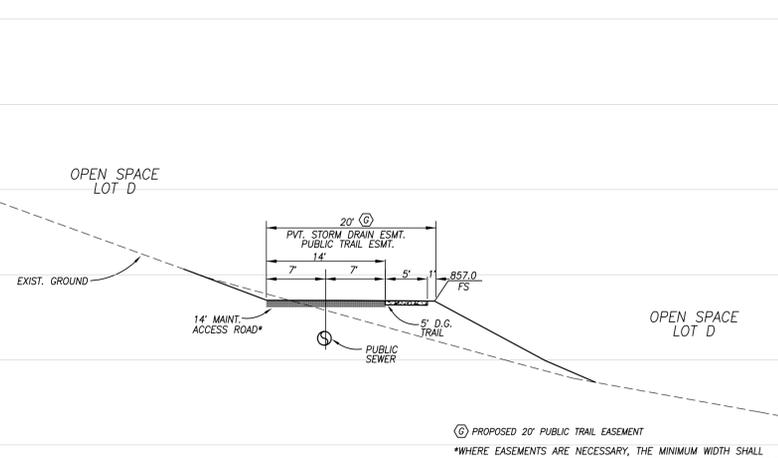


SEE SHEET 7 FOR SECTION LOCATION
SECTION "C"

SCALE: HORIZ/VERT 1"=10'

- Ⓐ PROPOSED 20' PUBLIC SEWER EASEMENT
- Ⓞ PROPOSED 20' PUBLIC TRAIL EASEMENT

*WHERE EASEMENTS ARE NECESSARY, THE MINIMUM WIDTH SHALL BE 20', WITH AN ALL-WEATHER ROAD SURFACE. GRADES OVER 10% SHALL BE PAVED WITH CONCRETE. EASEMENT ROADS SHALL HAVE A 25' MIN. INSIDE RADIUS, 5% MAX. CROSS-SLOPE & 15% MAX GRADE

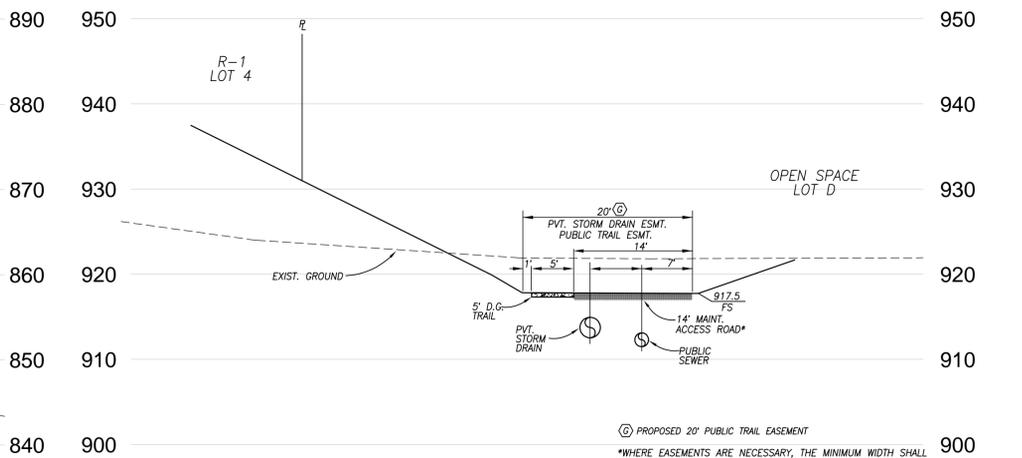


SEE SHEET 13 FOR SECTION LOCATION
SECTION "D"

SCALE: HORIZ/VERT 1"=10'

- Ⓞ PROPOSED 20' PUBLIC TRAIL EASEMENT

*WHERE EASEMENTS ARE NECESSARY, THE MINIMUM WIDTH SHALL BE 20', WITH AN ALL-WEATHER ROAD SURFACE. GRADES OVER 10% SHALL BE PAVED WITH CONCRETE. EASEMENT ROADS SHALL HAVE A 25' MIN. INSIDE RADIUS, 5% MAX. CROSS-SLOPE & 15% MAX GRADE

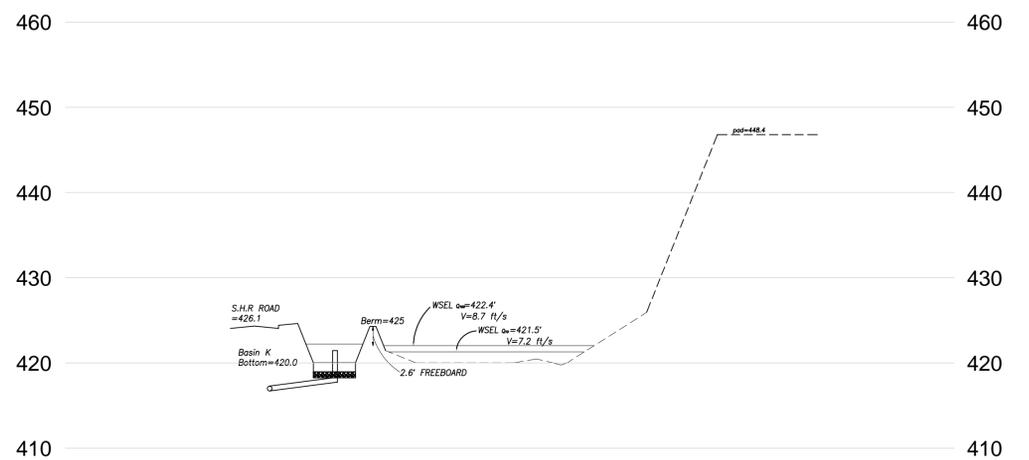


SEE SHEET 13 FOR SECTION LOCATION
SECTION "E"

SCALE: HORIZ/VERT 1"=10'

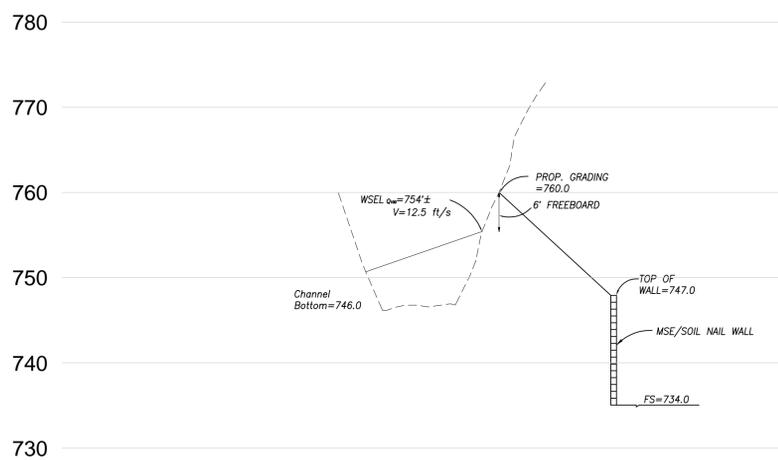
- Ⓞ PROPOSED 20' PUBLIC TRAIL EASEMENT

*WHERE EASEMENTS ARE NECESSARY, THE MINIMUM WIDTH SHALL BE 20', WITH AN ALL-WEATHER ROAD SURFACE. GRADES OVER 10% SHALL BE PAVED WITH CONCRETE. EASEMENT ROADS SHALL HAVE A 25' MIN. INSIDE RADIUS, 5% MAX. CROSS-SLOPE & 15% MAX GRADE



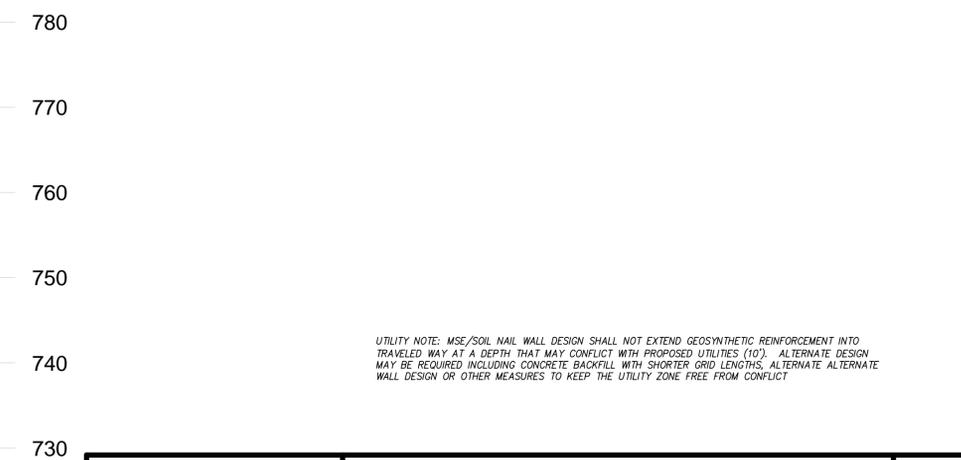
SEE SHEET 15 FOR SECTION LOCATION
SECTION "F"

SCALE: HORIZ/VERT 1"=10'



SEE SHEET 15 FOR SECTION LOCATION
SECTION "G"

SCALE: HORIZ/VERT 1"=10'



UTILITY NOTE: MSE/SOIL NAIL WALL DESIGN SHALL NOT EXTEND GEOSYNTHETIC REINFORCEMENT INTO TRAVELED WAY AT A DEPTH THAT MAY CONFLICT WITH PROPOSED UTILITIES (10'). ALTERNATE DESIGN MAY BE REQUIRED INCLUDING CONCRETE BACKFILL WITH SHORTER GRID LENGTHS, ALTERNATE ALTERNATE WALL DESIGN OR OTHER MEASURES TO KEEP THE UTILITY ZONE FREE FROM CONFLICT

PREPARED BY:

HUNSAKER & ASSOCIATES
SAN DIEGO, INC.

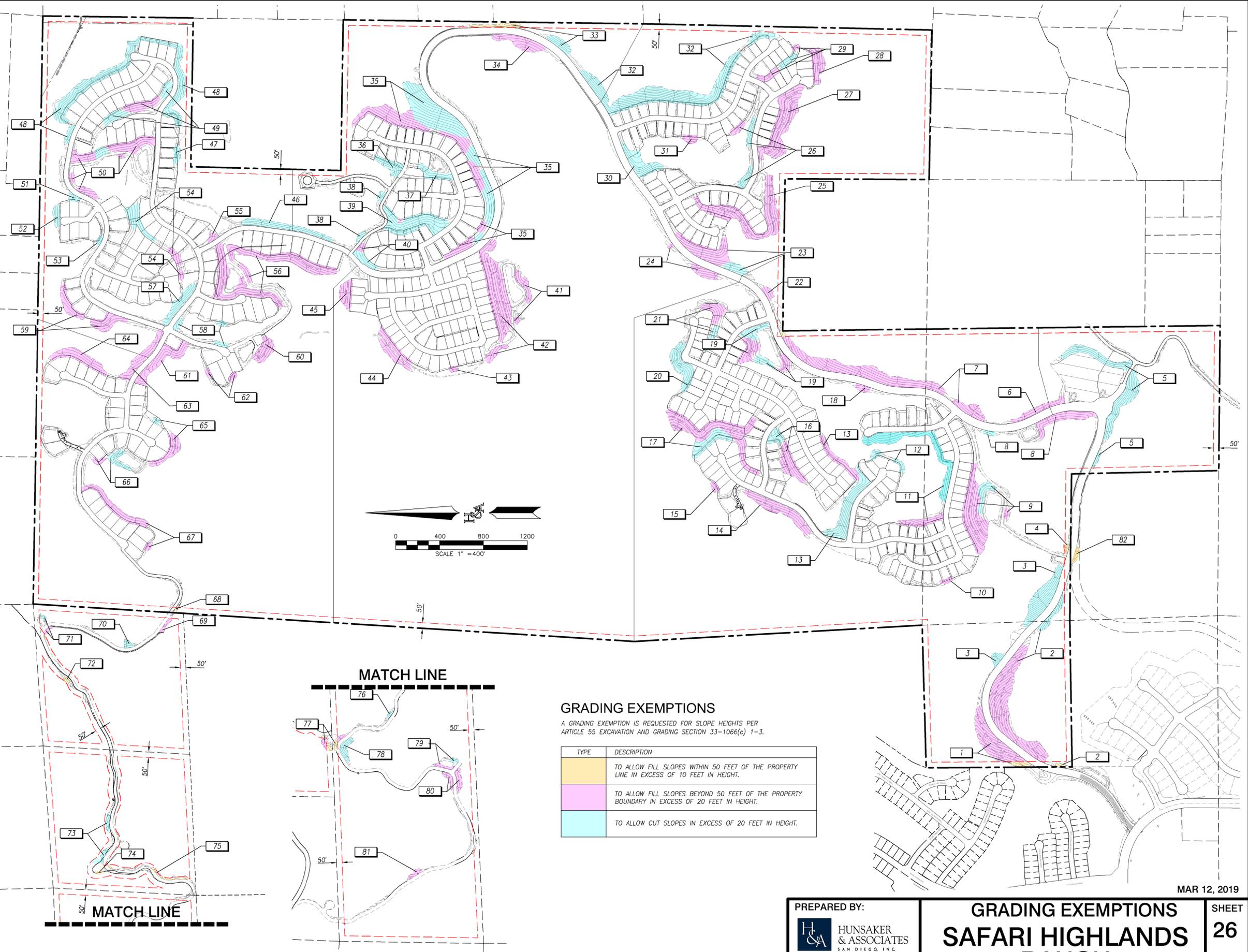
PLANNING 9707 Waples Street
ENGINEERING San Diego, CA 92131
SURVEYING PH(608)558-4500 FX(608)558-4144

SECTIONS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
25
OF
45

EXEMPTION NUMBER	MAX FILL SLOPE BEYOND 50' OF PL IN EXCESS OF 20'	MAX CUT SLOPE IN EXCESS OF 20'	MAX FILL SLOPE WITHIN 50' OF PL IN EXCESS OF 10'	EXEMPTION DESCRIPTION
1	95'		37'	A, C & F
2	99'	45'	29'	A, F & G
3		115'		A & G
4			30'	A & F
5		87'		A, C, D & G
6	37'			A, E & F
7	56'		25'	A & F
8	34'	25'		A, F & G
9	110'	42'		A, E, F & G
10	33'			B, E & F
11	40'	75'		B, F & G
12		35'		B & G
13	37'	75'		B, F & G
14	55'			A, B & F
15	34'			B & F
16	70'	49'		B, F & G
17	84'	51'		B, F & G
18	37'			B & F
19	65'	60'		A, B, E, F & G
20		67'		B & G
21	65'	41'		B, F & G
22	75'	49'		B & F
23	41'			A, B, F & G
24	49'			A & F
25	75'			B, E & F
26	33'	51'		A, B, F & G
27	99'			B & F
28		64'		B & F
29	44'	40'		B, F & G
30		100'		B & G
31	45'			B & F
32		114'		A, B & G
33		54'	32'	A & G
34	54'			A & F
35	94'	114'		A, B, F, & G
36		56'		B & F
37	46'			B, E & F
38		39'		A & G
39	27'	79'		B & F
40	39'	39'		A, B, & F
41		47'		B, E & F
42	85'			B & F
43	30'			B & F
44	55'			B & F
45	60'			B & F
46		50'		B & G
47		44'		B & G
48		63'		A, B, F & G
49	54'	47'		B, F & G
50	57'	57'		B & F
51		39'		B & F
52	49'			B & G
53		39'		A, B & G
54	46'	60'		A, B & F
55	37'			A, B & F
56	59'			A, B, E & F
57		54'		A, B & G
58		39'		A, B, C, F & G
59	54'			A, B & F
60	77'			E & F
61	53'			A, B, E & F
62	31'			B & F
63	44'			B & F
64	49'			B & F
65	54'	28'		B & F
66	27'	35'		B, E & F
67	36'			B & F
68			23'	A & F
69	25'		15'	A & F
70		59'		A & G
71		33'		A, E & F
72			24'	A & F
73	37'			A & G
74			20'	A & F
75			20'	A & F
76		26'		A & G
77	34'	24'		A, E & F
78		50'		A & F
79	25'	33'		A, E, F & G
80	29'			A & F
81				A & F
82	33'		25'	A & F

- EXEMPTION DESCRIPTION**
- A) The slope exemption is necessary for circulation roadways for property access.
 - B) The slope exemption is necessary to create building pads.
 - C) The slope exemption is necessary to support the fire station, sewer lift station, and/or water pressure boost station.
 - D) The slope exemption is necessary for the construction of parks.
 - E) The slope exemption is necessary for the construction of water quality treatment basins.
 - F) The slope is graded at 2:1.
 - G) The slope is graded at 1.5:1.



GRADING EXEMPTIONS

A GRADING EXEMPTION IS REQUESTED FOR SLOPE HEIGHTS PER ARTICLE 55 EXCAVATION AND GRADING SECTION 33-1066(c) 1-3.

TYPE	DESCRIPTION
	TO ALLOW FILL SLOPES WITHIN 50 FEET OF THE PROPERTY LINE IN EXCESS OF 10 FEET IN HEIGHT.
	TO ALLOW FILL SLOPES BEYOND 50 FEET OF THE PROPERTY BOUNDARY IN EXCESS OF 20 FEET IN HEIGHT.
	TO ALLOW CUT SLOPES IN EXCESS OF 20 FEET IN HEIGHT.

MAR 12, 2019

PREPARED BY:

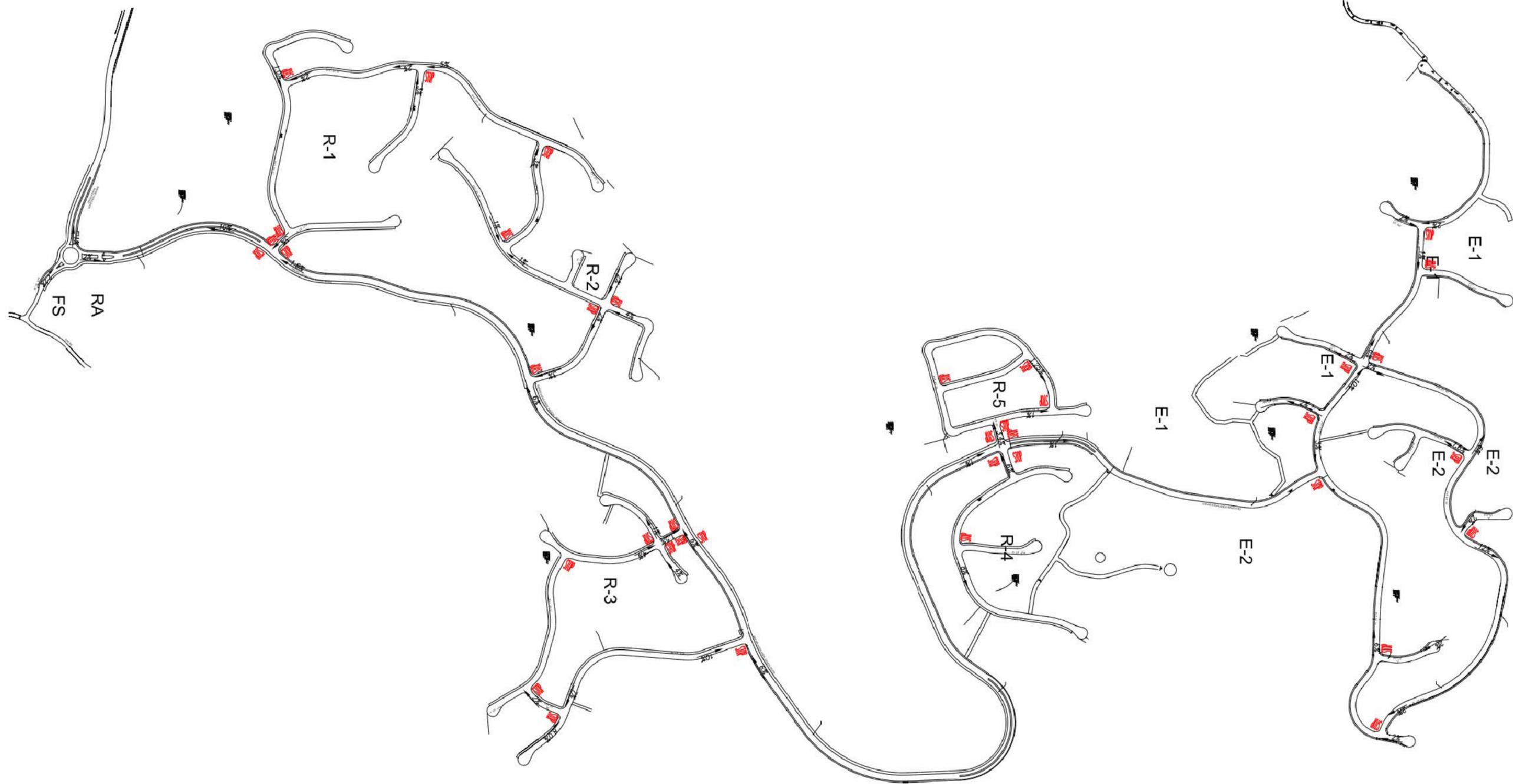


HUNSAKER & ASSOCIATES
SAN DIEGO, INC.

PLANNING 9707 Waples Street
ENGINEERING San Diego, CA 92121
SURVEYING PH: 619-595-4500 FAX: 619-595-1414

GRADING EXEMPTIONS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
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OF
45



REV. 10/17/2018
 N:\2334\Traffic Calming\Stop Sign\LLG2334_SITE PLAN_RED STOPS 04-11-2019.dwg



OCT 30, 2019

PREPARED BY:



ON-SITE STOP SIGN LOCATIONS
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
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 OF
45

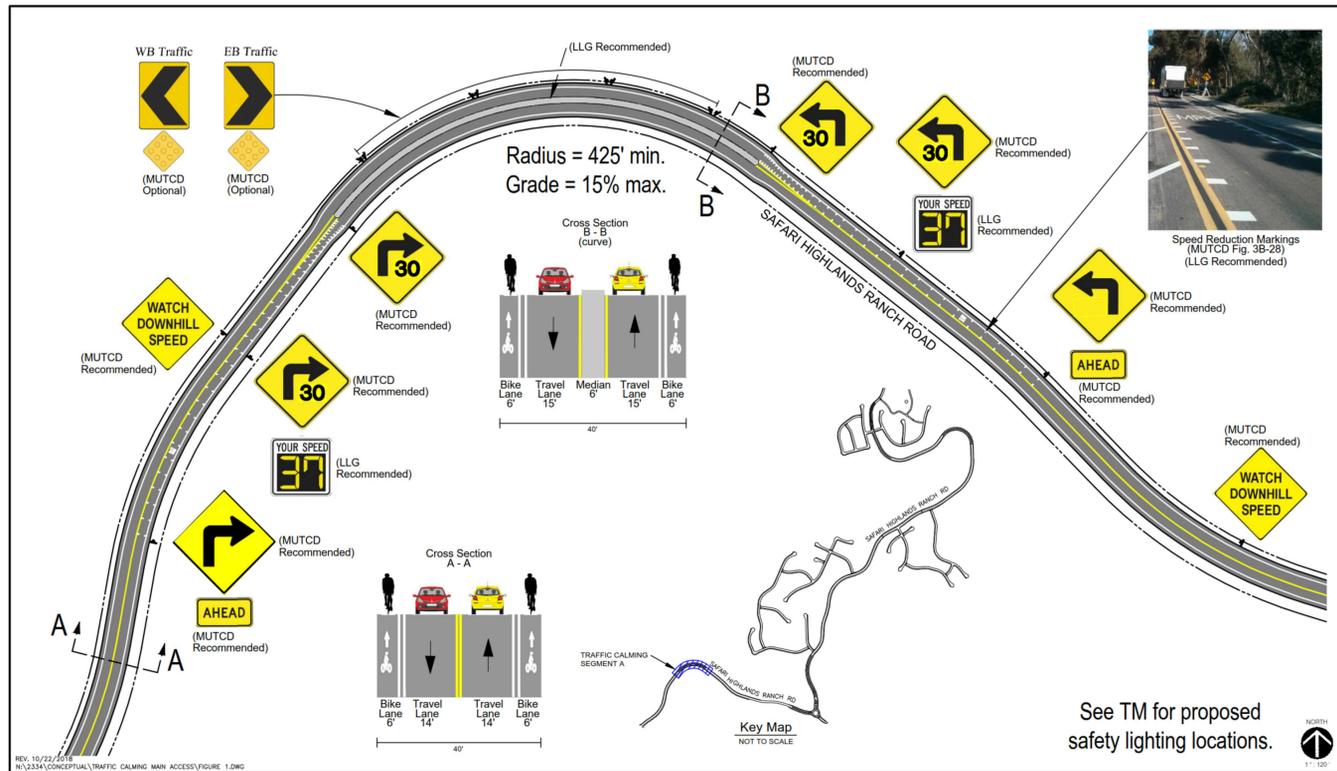


Figure 1

Segment A - Traffic Calming Concept Plan

SAFARI HIGHLANDS RANCH

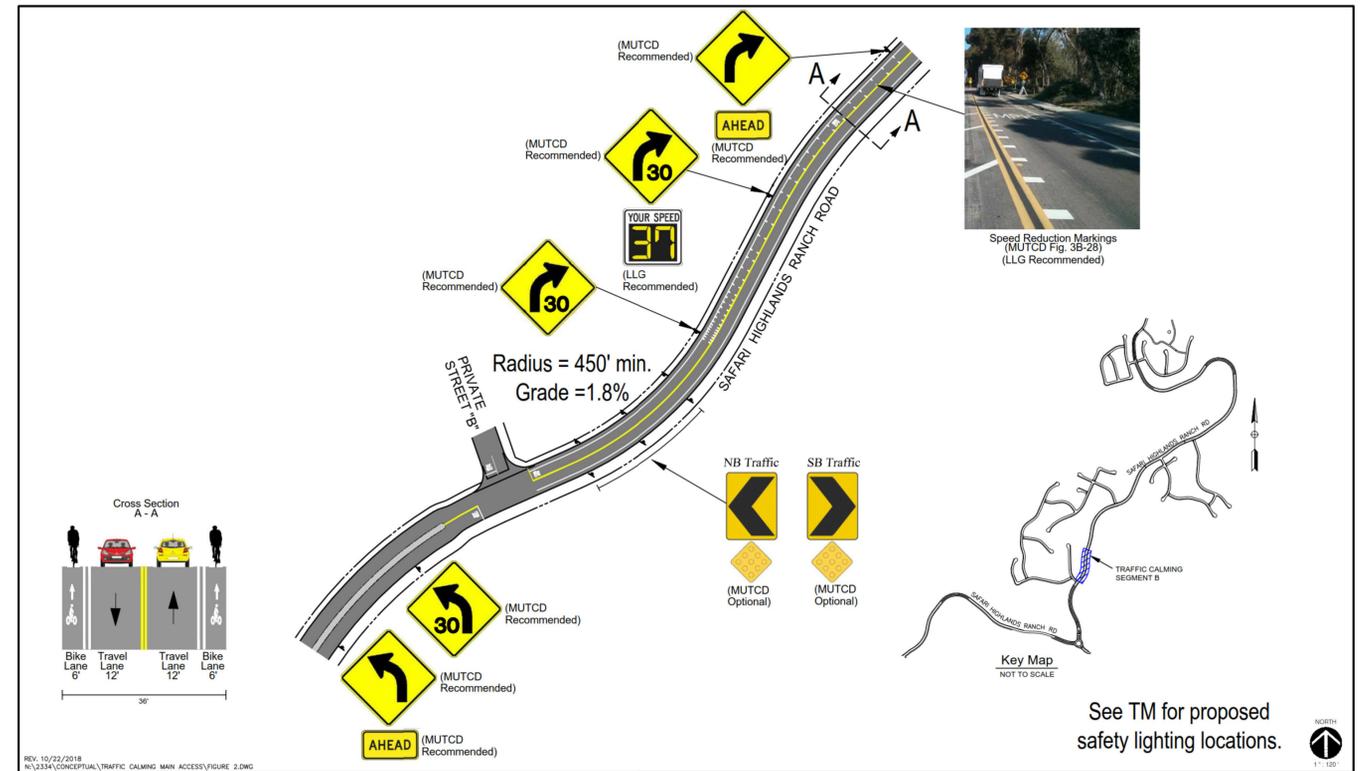


Figure 2

Segment B - Traffic Calming Concept Plan

SAFARI HIGHLANDS RANCH

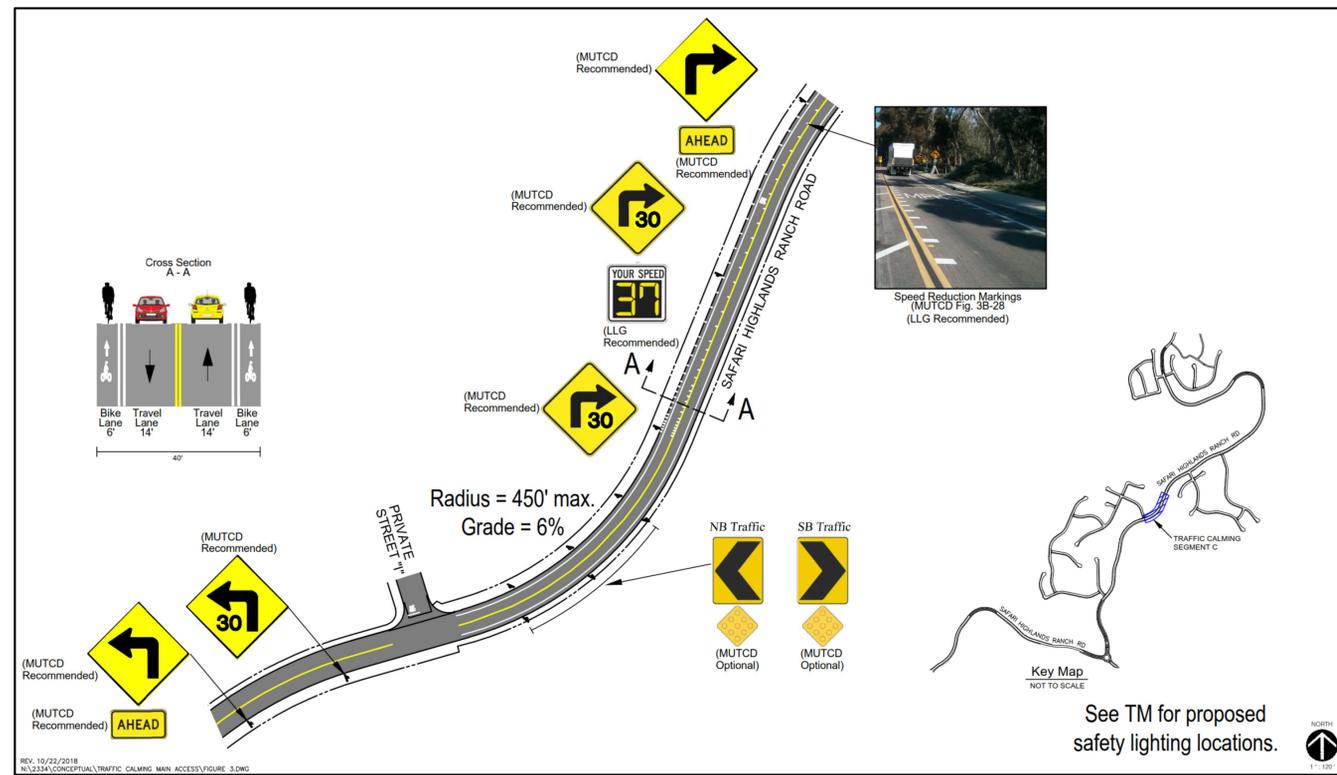


Figure 3

Segment C - Traffic Calming Concept Plan

SAFARI HIGHLANDS RANCH



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TRAFFIC CALMING PLAN
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

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OF
45

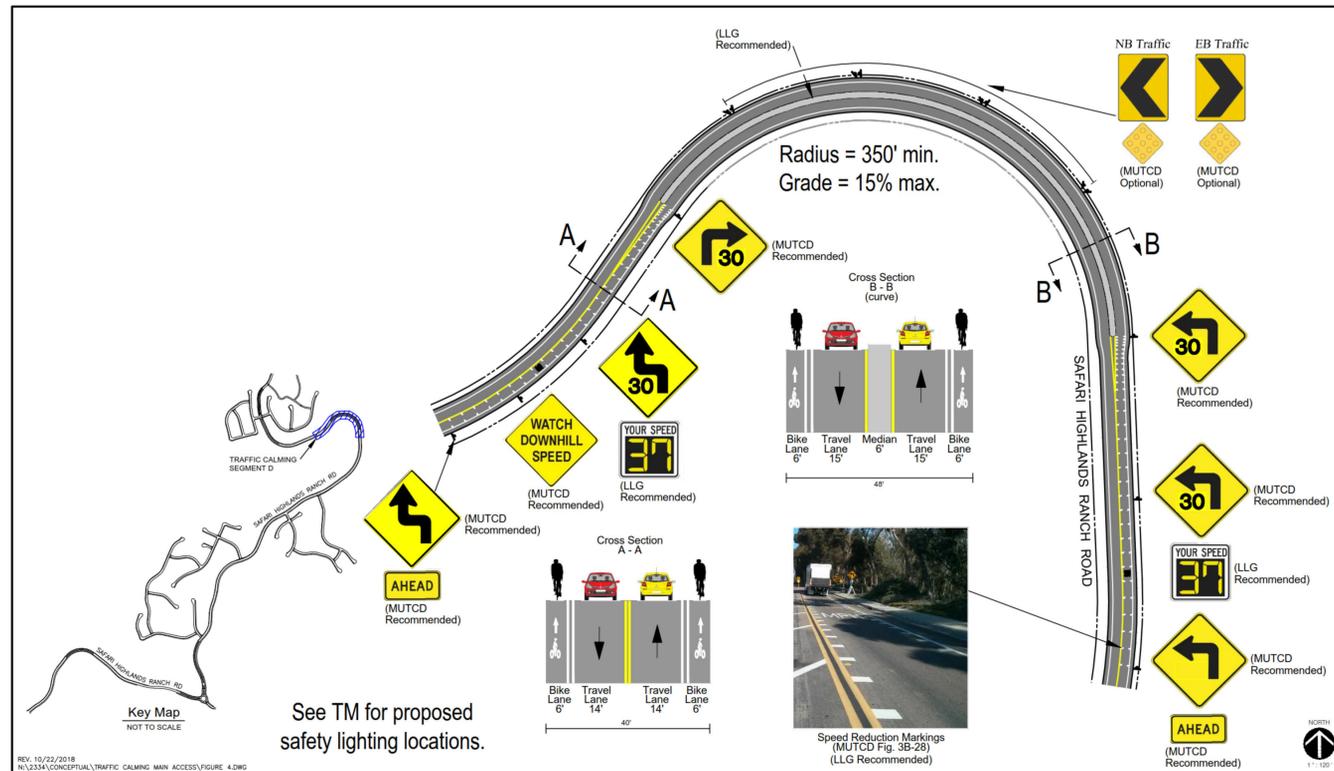


Figure 4

Segment D - Traffic Calming Concept Plan

SAFARI HIGHLANDS RANCH



REV. 10/22/2018
R:\333A\CONCEPTUAL\TRAFFIC CALMING MAIN ACCESS\FIGURE 4.DWG



REV. 10/22/2018
R:\333A\CONCEPTUAL\TRAFFIC CALMING MAIN ACCESS\FIGURE 5.DWG

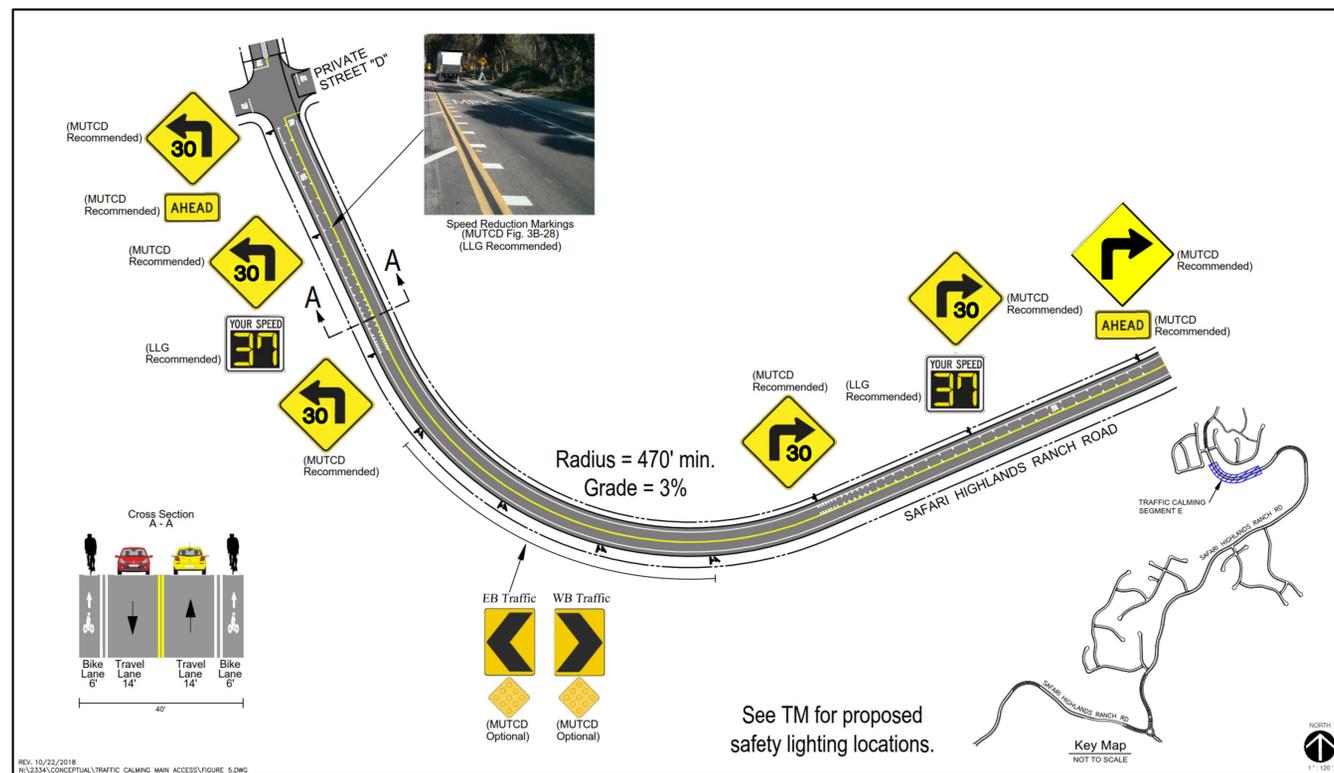


Figure 5

Segment E - Traffic Calming Concept Plan

SAFARI HIGHLANDS RANCH

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SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

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OF
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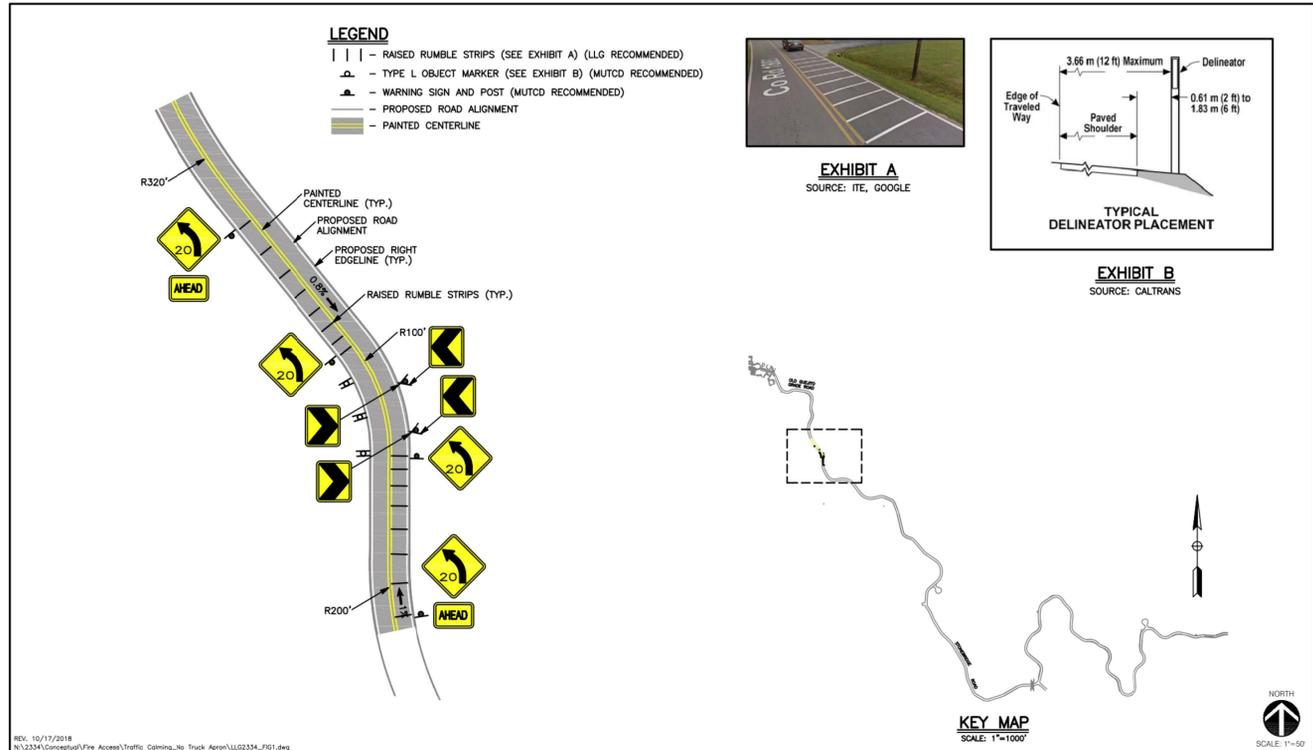


Figure 1

Traffic Calming Concept Plan
(Emergency Access Road)
SAFARI HIGHLANDS RANCH

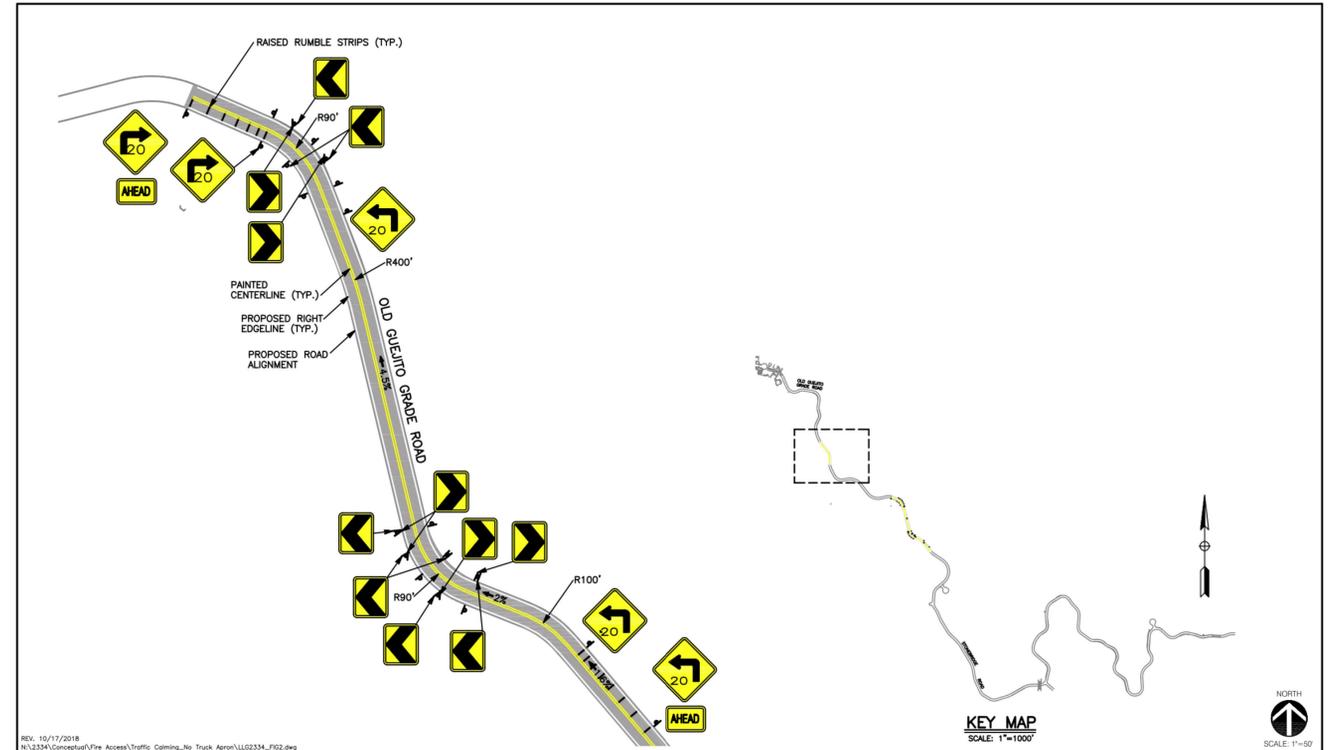


Figure 2

Traffic Calming Concept Plan
(Emergency Access Road)
SAFARI HIGHLANDS RANCH

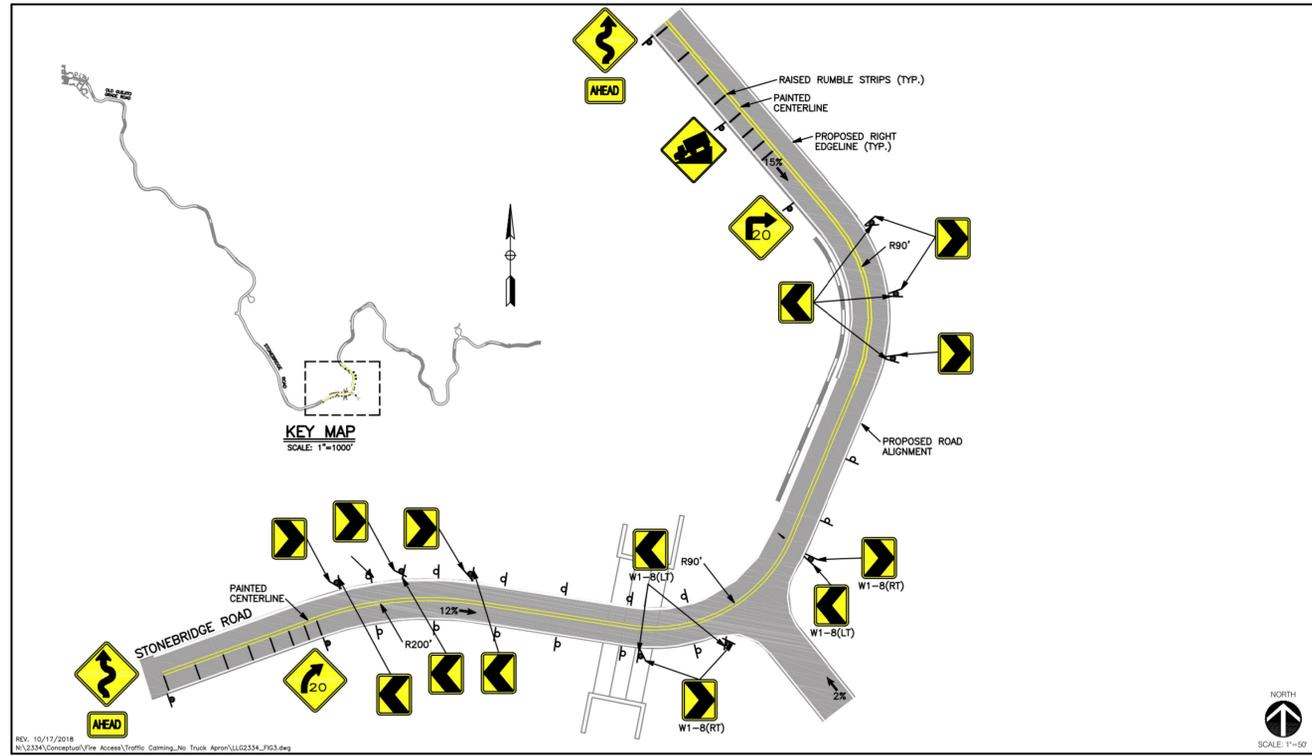


Figure 3

Traffic Calming Concept Plan
(Emergency Access Road)
SAFARI HIGHLANDS RANCH

PREPARED BY:
**LINSCOTT
LAW &
GREENSPAN**
engineers

TRAFFIC CALMING PLAN
**SAFARI HIGHLANDS
RANCH**
CITY OF ESCONDIDO, CALIFORNIA

SHEET
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OF
45

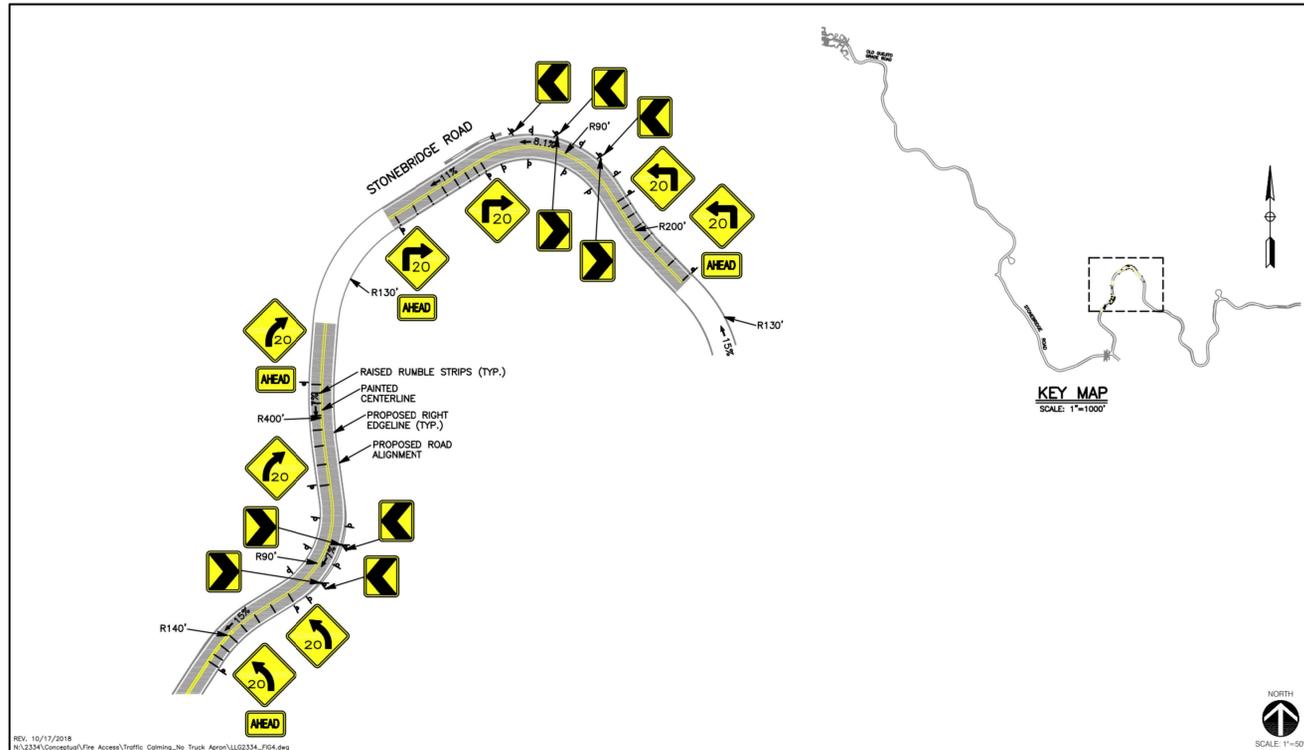


Figure 4

Traffic Calming Concept Plan
(Emergency Access Road)
SAFARI HIGHLANDS RANCH

REV. 10/17/2018
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LINSOTT
LAW &
GREENSPAN
engineers

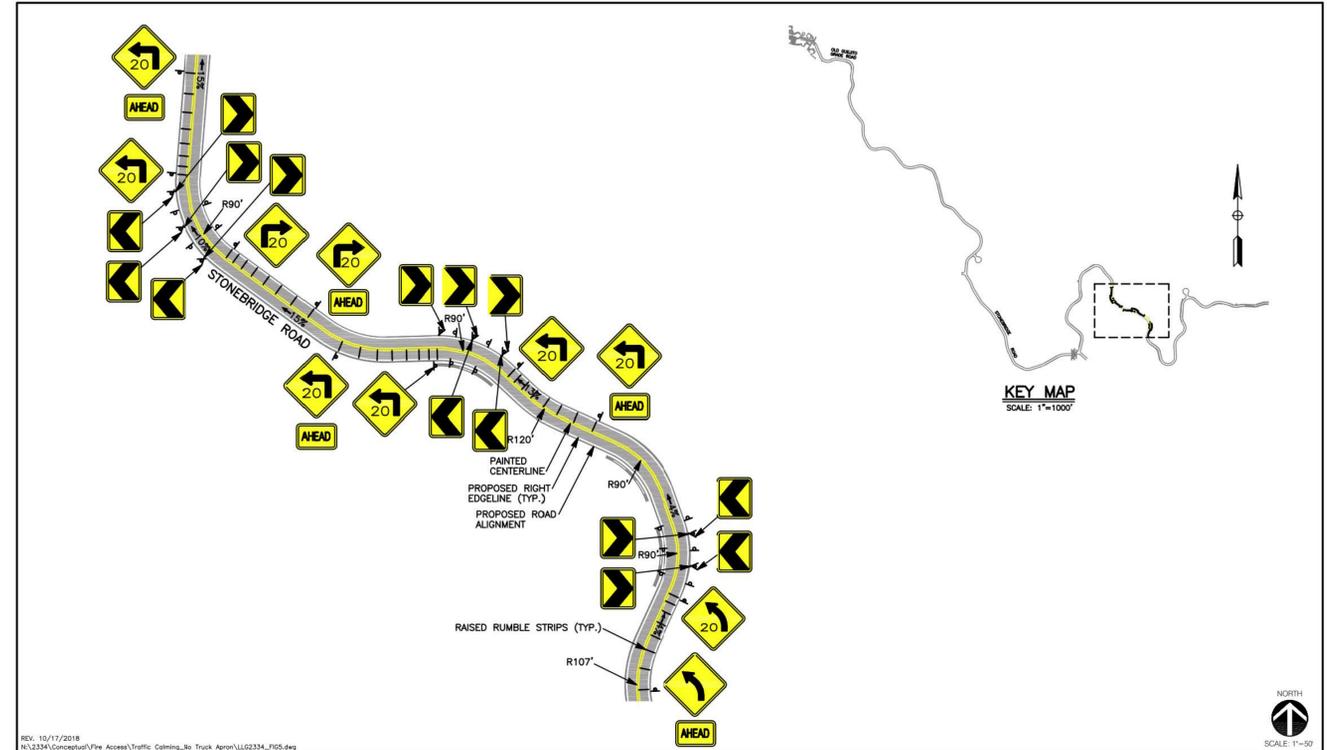


Figure 5

Traffic Calming Concept Plan
(Emergency Access Road)
SAFARI HIGHLANDS RANCH

REV. 10/17/2018
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GREENSPAN
engineers

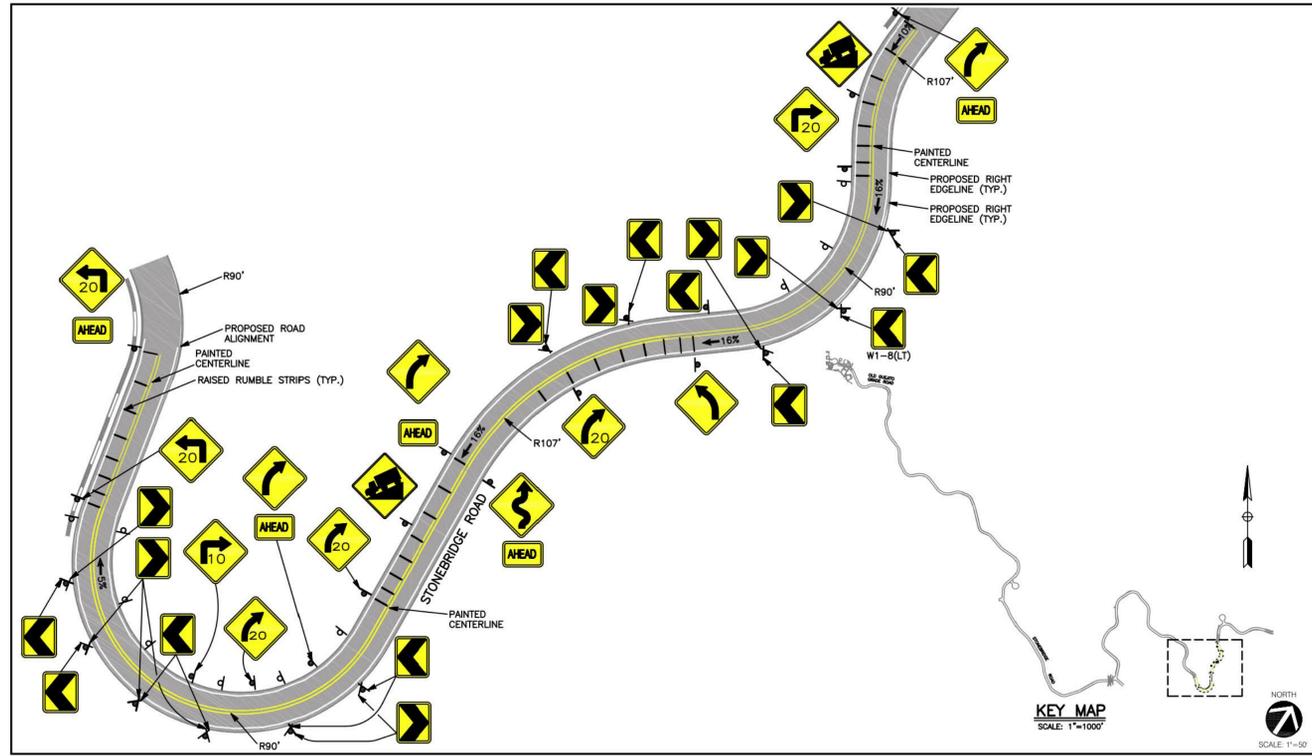


Figure 6

Traffic Calming Concept Plan
(Emergency Access Road)
SAFARI HIGHLANDS RANCH

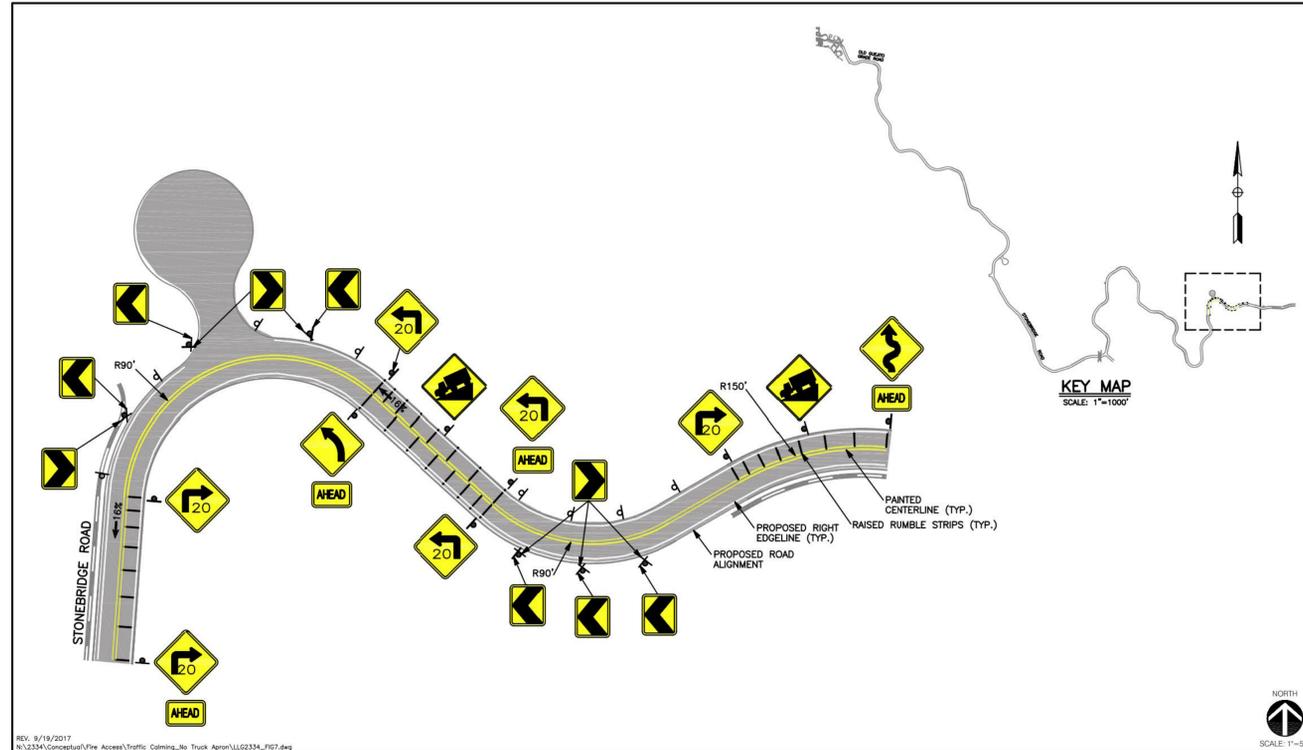
REV. 10/17/2018
N:\2334\Conceptual\Fire Access\Traffic Calming_No Truck Apron\LL02334_F06.dwg
LINSOTT
LAW &
GREENSPAN
engineers

PREPARED BY:

LINSOTT
LAW &
GREENSPAN
engineers

TRAFFIC CALMING PLAN
SAFARI HIGHLANDS
RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
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OF
45

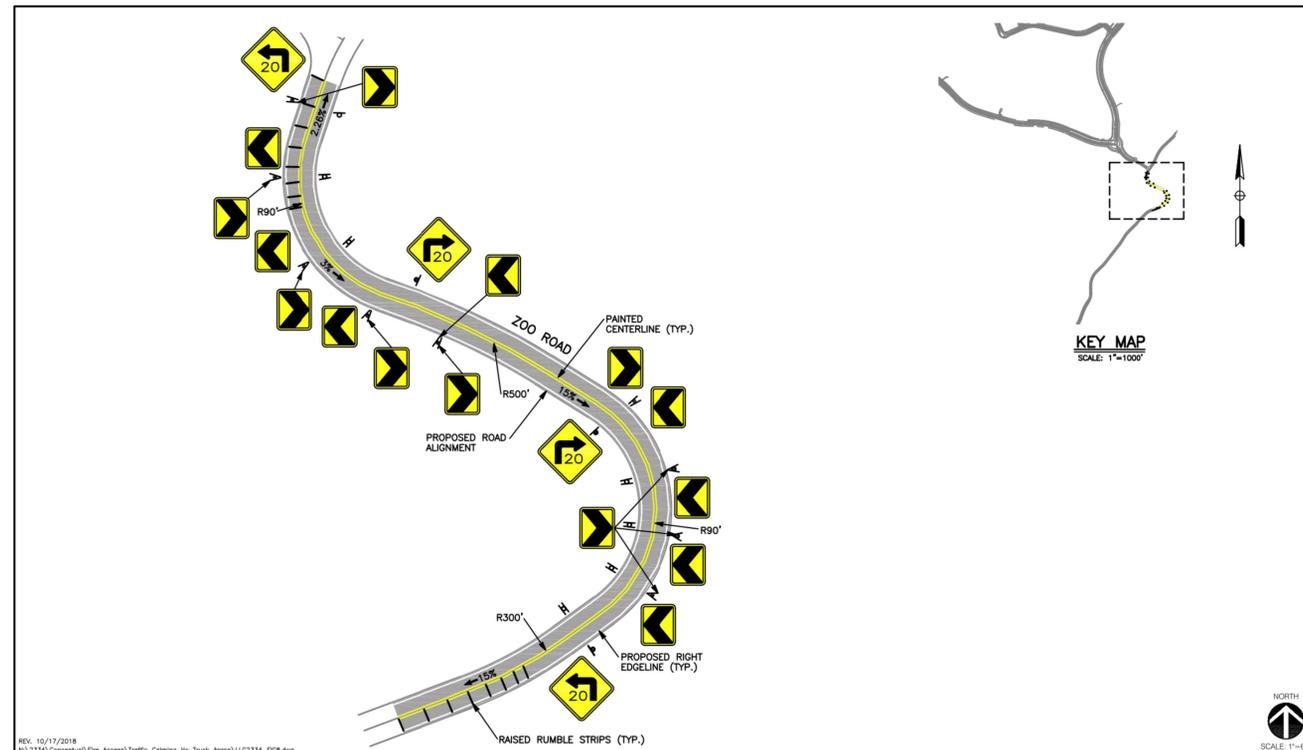


REV. 9/19/2017
 N:\2334\Conceptual\The Access\Traffic Calming_30 Truck Apron\LLG2334_FIG7.dwg

LINSCOTT
 LAW &
 GREENSPAN
 engineers

Figure 7

Traffic Calming Concept Plan
 (Emergency Access Road)
 SAFARI HIGHLANDS RANCH



REV. 10/17/2018
 N:\2334\Conceptual\The Access\Traffic Calming_30 Truck Apron\LLG2334_FIG8.dwg

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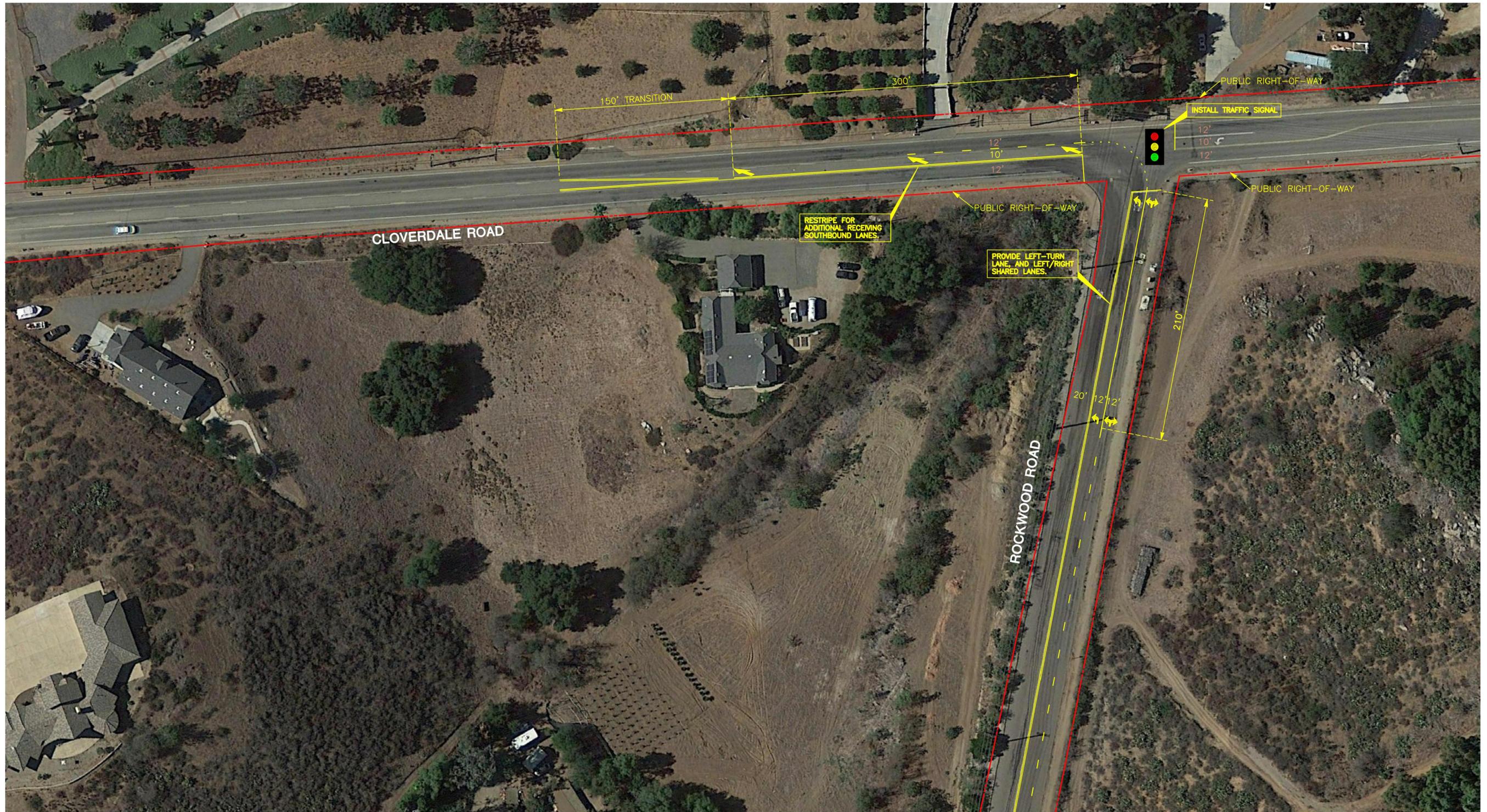
Figure 8

Traffic Calming Concept Plan
 (Emergency Access Road)
 SAFARI HIGHLANDS RANCH

PREPARED BY:
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TRAFFIC CALMING PLAN
 SAFARI HIGHLANDS
 RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
 32
 OF
 45



LEGEND

 Traffic Signal

REV. 1/8/2020
N:\2334\TRA Figures\TRA-1\TRA-1 (Rev 1-8-20).dwg

CONCEPTUAL ONLY



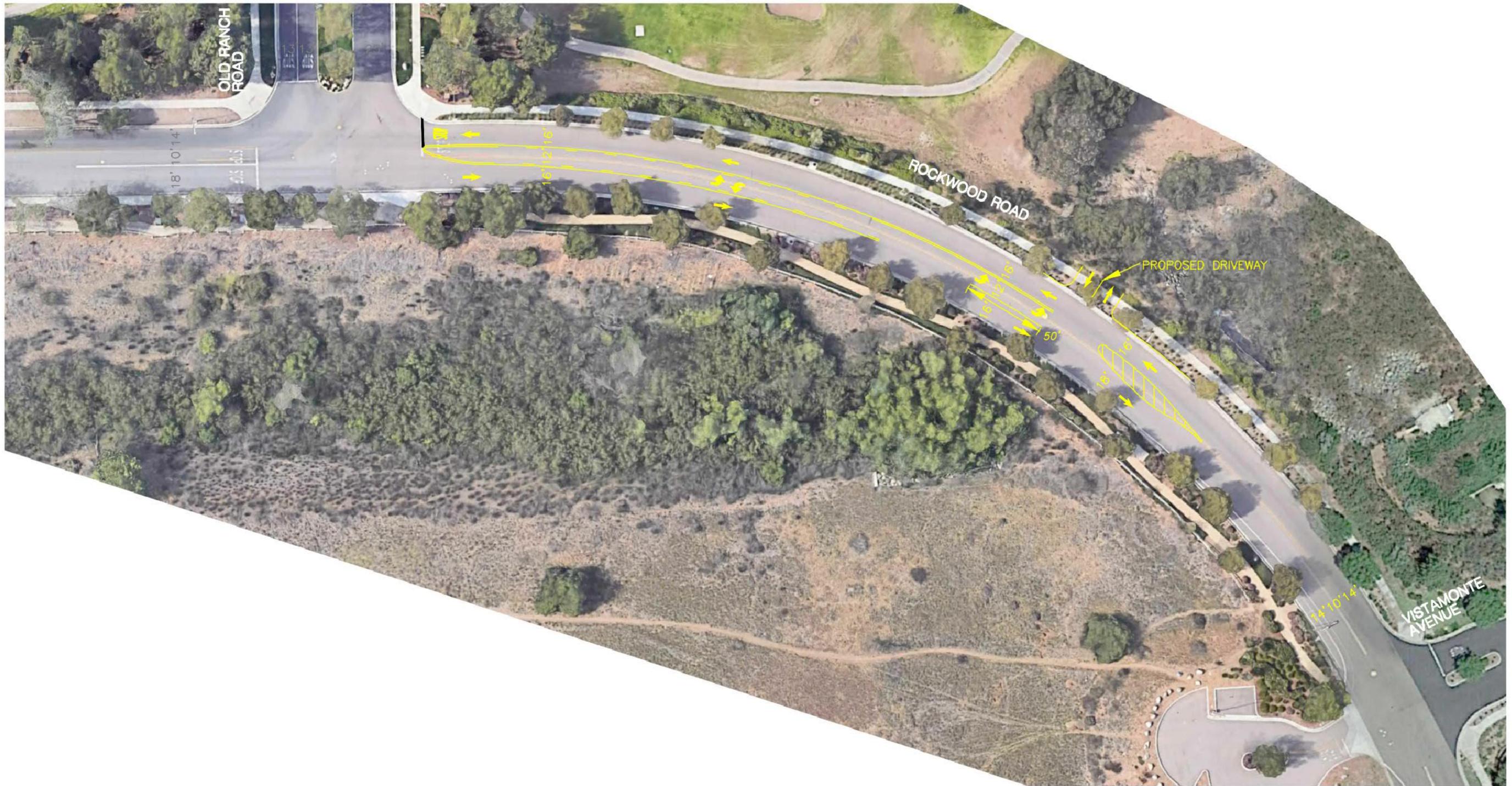
CLOVERDALE ROAD & ROCKWOOD ROAD IMPROVEMENTS
TRA-1

PREPARED BY:



OFFSITE ROAD IMPROVEMENTS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
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OF
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REV. 1/15/2020
 N:\2334\Conceptual\Cloverdale Rd\Conceptual Plan - FIGURE 1 (c).dwg

CONCEPTUAL ONLY



NOT TO SCALE

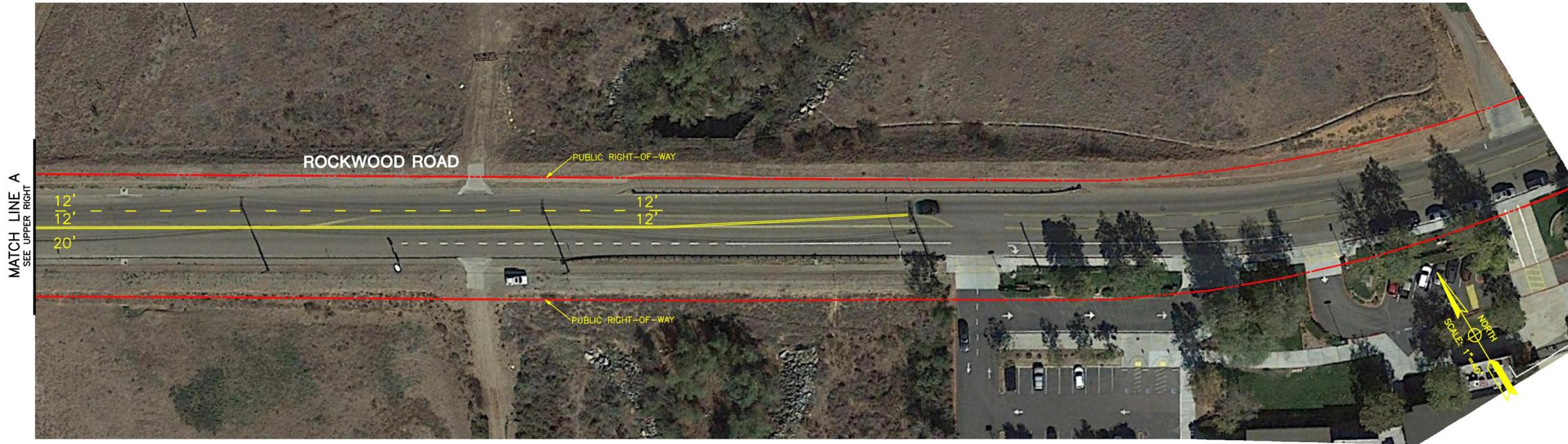
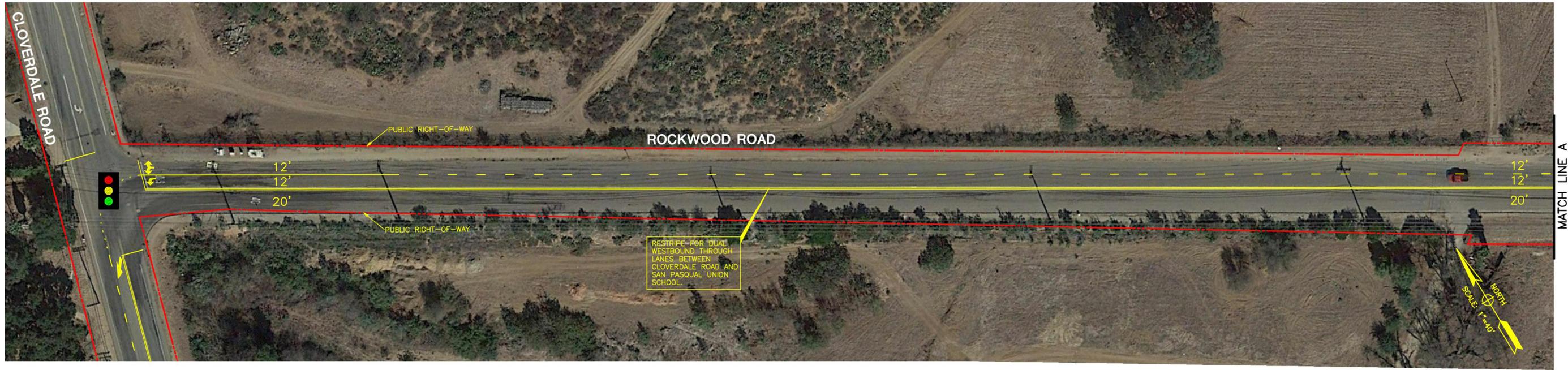
ROCKWOOD ROAD: OLD RANCH ROAD TO VISTAMONTE AVENUE
 TRA-1

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OFFSITE ROAD IMPROVEMENTS
SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
34
 OF
45



LEGEND

 Traffic Signal

CONCEPTUAL ONLY

REV. 10/17/2018
N:\2334\TRA Figures\TRA-1D-Alt2\TRA-1d (Alternative 2).dwg

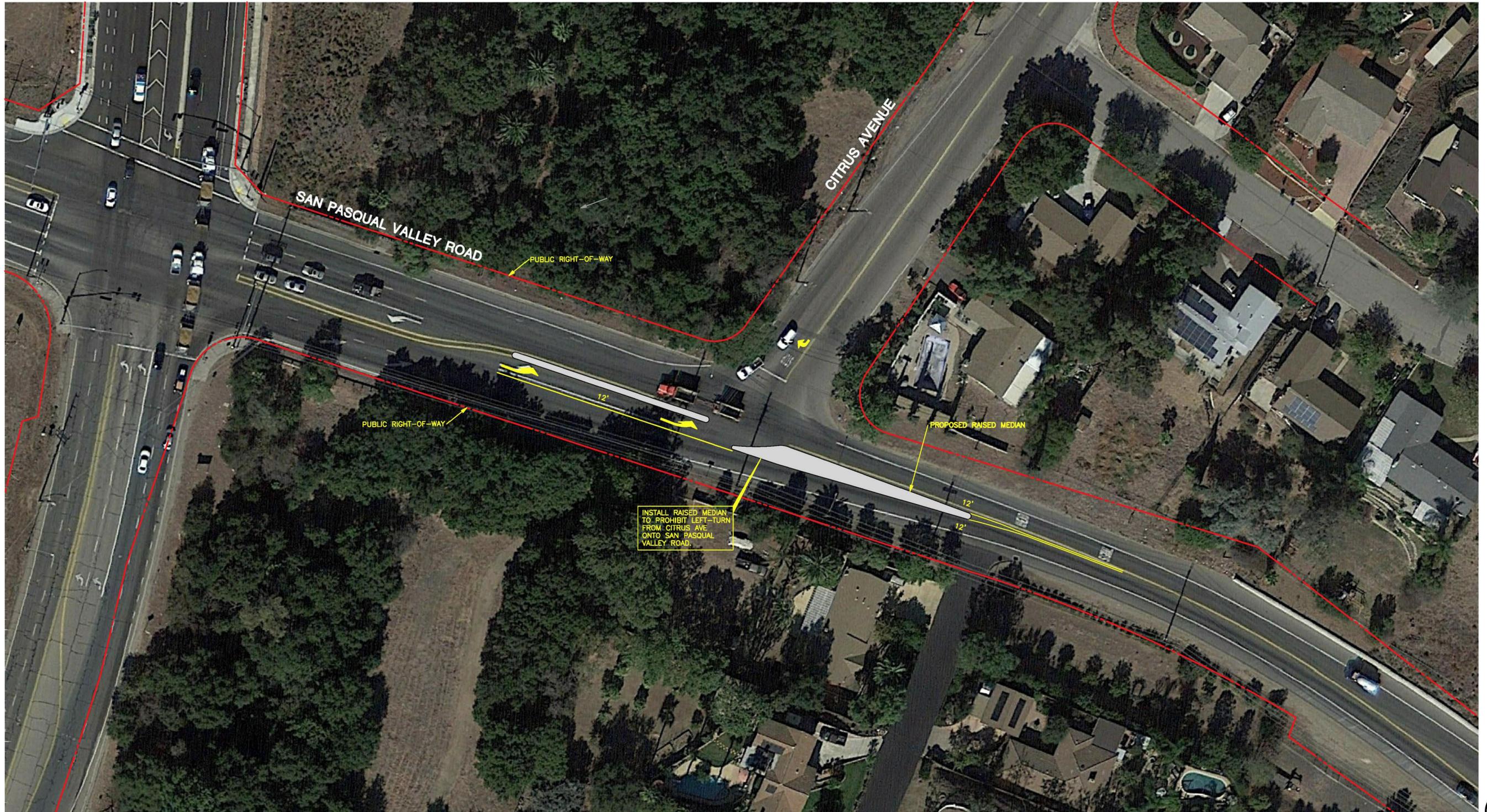
ROCKWOOD ROAD: CLOVERDALE ROAD TO SAN PASQUAL UNION ELEMENTARY
TRA-1

PREPARED BY:



OFFSITE ROAD IMPROVEMENTS
SAFARI HIGHLANDS RANCH
CITY OF ESCONDIDO, CALIFORNIA

SHEET
35
OF
45



REV. 10/17/2018
 N:\2334\TRA Figures\TRA-2\TRA-2.dwg

CONCEPTUAL ONLY



SCALE: 1"=30'

SAN PASQUAL VALLEY ROAD (SR 78) AND CITRUS AVENUE IMPROVEMENTS
 TRA-2

PREPARED BY:

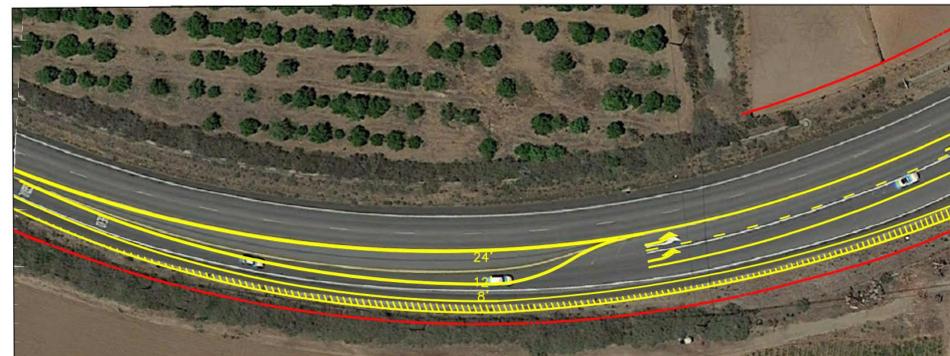
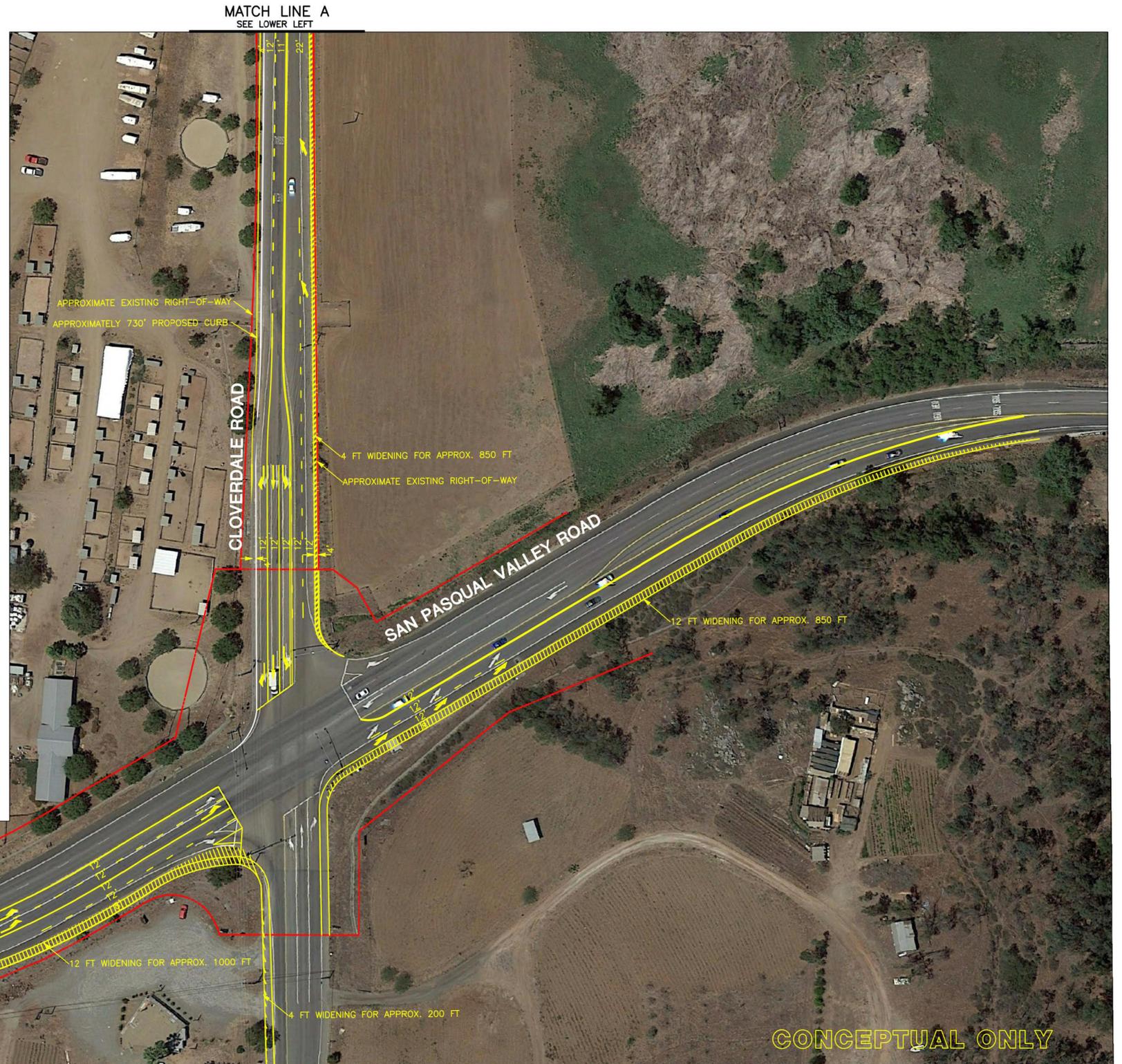


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MATCH LINE A
SEE UPPER RIGHT



CONCEPTUAL ONLY



SCALE: 1"=60'

REV. 2/24/2015
N:\2334\Design\SPVR AND CLOVERDALE\LLG2334-FIG2 (12-11-19).dwg

SAN PASQUAL VALLEY ROAD & CLOVERDALE ROAD IMPROVEMENTS
TRA-4

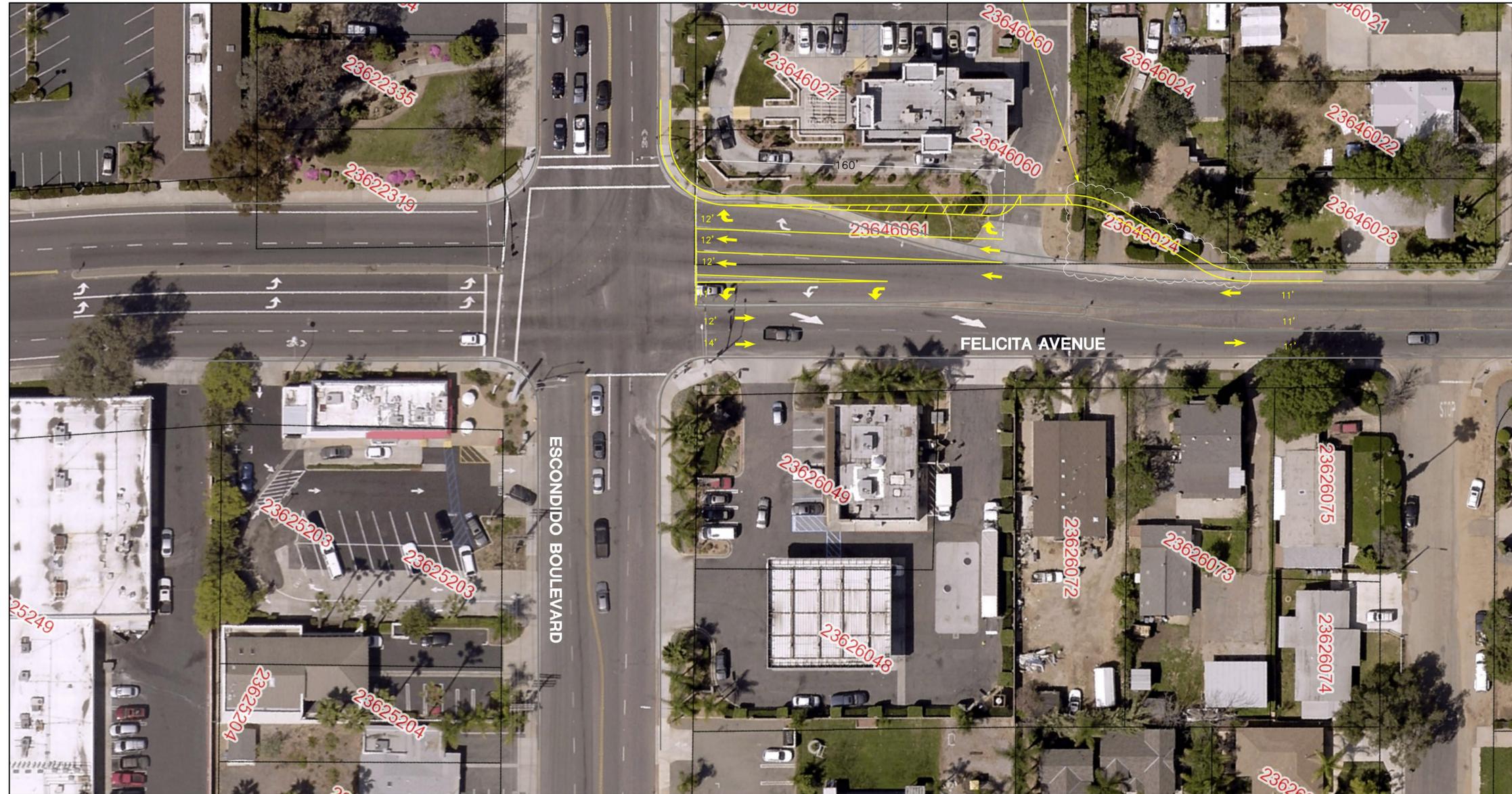
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OF
45

THIS PORTION OF THE RECOMMENDED WIDENING LIES ON PRIVATE PROPERTY AND IF THE CITY CANNOT OBTAIN THE ROW, THE APPLICANT'S OBLIGATION TO CONSTRUCT THIS PORTION OF WIDENING IS RELIEVED.



CONCEPTUAL ONLY



SCALE: 1"=30'

REV. 8/28/2019
N:\2334\Conceptual\Conceptual Figure - Escondido and Felicita (Rev).dwg

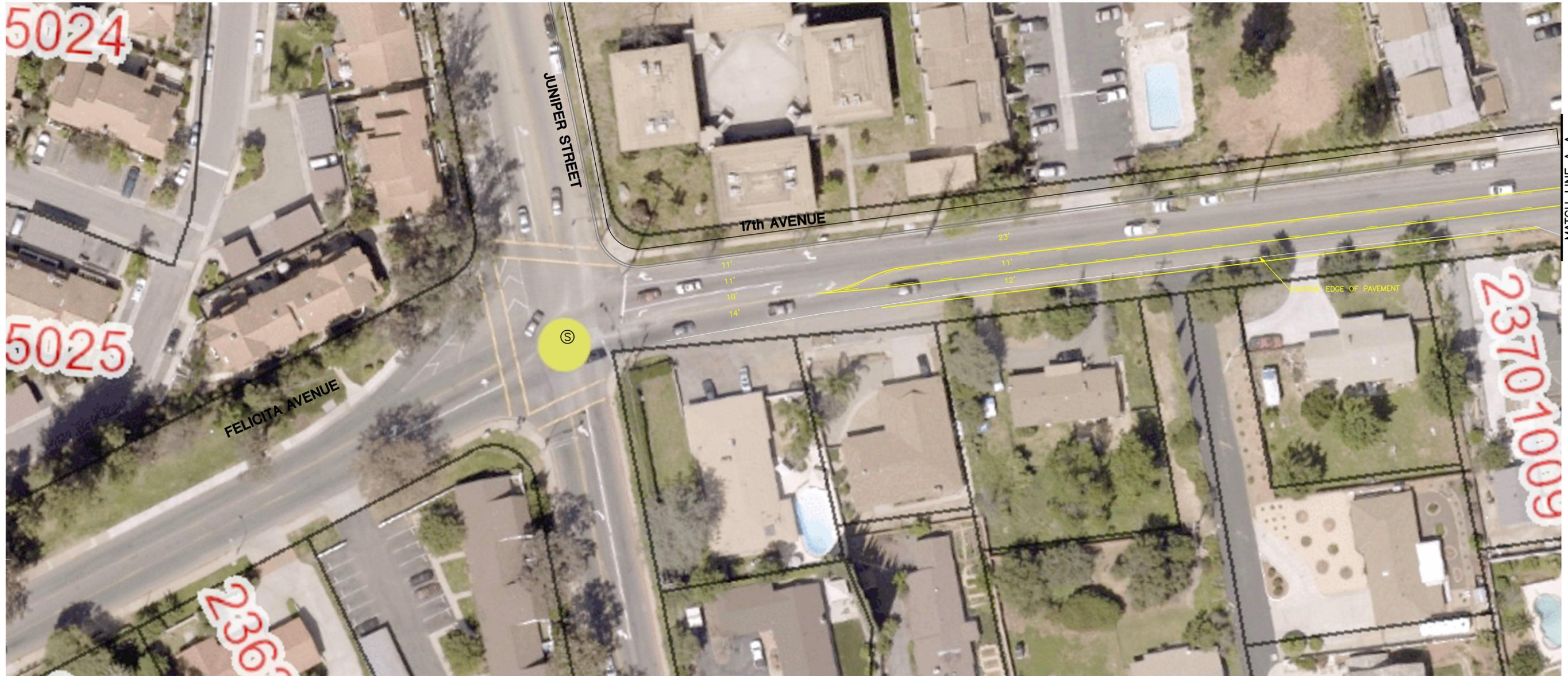
FELICITA AVENUE AND ESCONDIDO BOULEVARD IMPROVEMENTS
TRA-7

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CITY OF ESCONDIDO, CALIFORNIA

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OF
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NOTES:
 MINIMUM EXISTING PAVED WIDTH = 28'
 MINIMUM WIDTH NEEDED FOR TWLT LANE = 35'

REV. 7/23/2019
 N:\2334\Conceptual\Conceptual Figure - Juniper (TWLT).dwg

CONCEPTUAL ONLY

NORTH



SCALE: 1"=30'

FELICITA AVENUE/17TH AVENUE IMPROVEMENTS
 TWO-WAY LEFT-TURN LANE
 TRA-8

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 CITY OF ESCONDIDO, CALIFORNIA

SHEET
39
 OF
45



NOTES:
 MINIMUM EXISTING PAVED WIDTH = 28'
 MINIMUM WIDTH NEEDED FOR TWLT LANE = 35'

REV. 8/28/2019
 N:\2334\Conceptual\Conceptual Figure - Juniper (TWLT).dwg

CONCEPTUAL ONLY



FELICITA AVENUE/17TH AVENUE IMPROVEMENTS
 TWO-WAY LEFT-TURN LANE
 TRA-8

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SAFARI HIGHLANDS RANCH
 CITY OF ESCONDIDO, CALIFORNIA

SHEET
40
 OF
45



REV. 8/28/2019
 N:\2334\Conceptual\Conceptual Figure -- Juniper (TWLT).dwg

CONCEPTUAL ONLY



FELICITA AVENUE/17TH AVENUE IMPROVEMENTS
 TWO-WAY LEFT-TURN LANE
 TRA-8

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SHEET
41
 OF
45



REV. 8/28/2019
 N:\2334\Conceptual\San Pasqual and Via Rancho.dwg

CONCEPTUAL ONLY



NOT TO SCALE

SAN PASQUAL ROAD & VIA RANCHO PARKWAY IMPROVEMENTS
 TRA-9

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 CITY OF ESCONDIDO, CALIFORNIA

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42
 OF
45

CONTINGENT WITH THE CITY PROVIDING THE NECESSARY ROW.



REV. 10/28/2019
N:\2334\Conceptual\Conceptual Figure - Beethovem Dr FIG3 (Part B).dwg

CONCEPTUAL ONLY



BEAR VALLEY PKEY & BEETHOVEN DRIVE IMPROVEMENTS TRA-9

PREPARED BY:
**LINSCOTT
LAW &
GREENSPAN**
engineers

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**SAFARI HIGHLANDS
RANCH**
CITY OF ESCONDIDO, CALIFORNIA

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45



NOTES:
 1 IF SDGE VAULT NEEDS TO BE RELOCATED,
 IT WILL BE RELOCATED BY CITY OR SDGE.

CONCEPTUAL ONLY



SCALE: 1"=30'

REV. 10/14/2019
 N:\2334\Conceptual\Conceptual Figure - Felicity Ave(Part E).dwg

FELICITA AVENUE/ 17TH AVENUE IMPROVEMENTS/ JUNIPER STREET
 TRA-7

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LEGEND:
 TRAFFIC SIGNAL

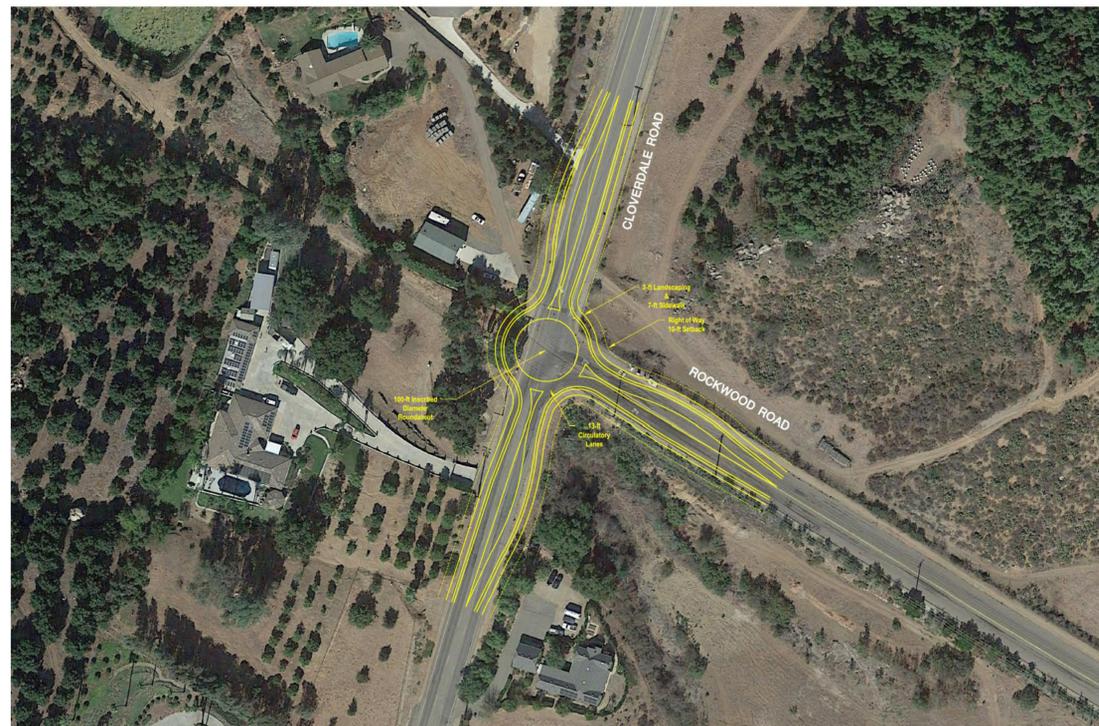
REV. 1/8/2020
 N:\2334\Conceptual\Conceptual Figure -Milky Way FIG3.dwg

OLD MILKY WAY IMPROVEMENTS
 TRA-6

CONCEPTUAL ONLY

NORTH

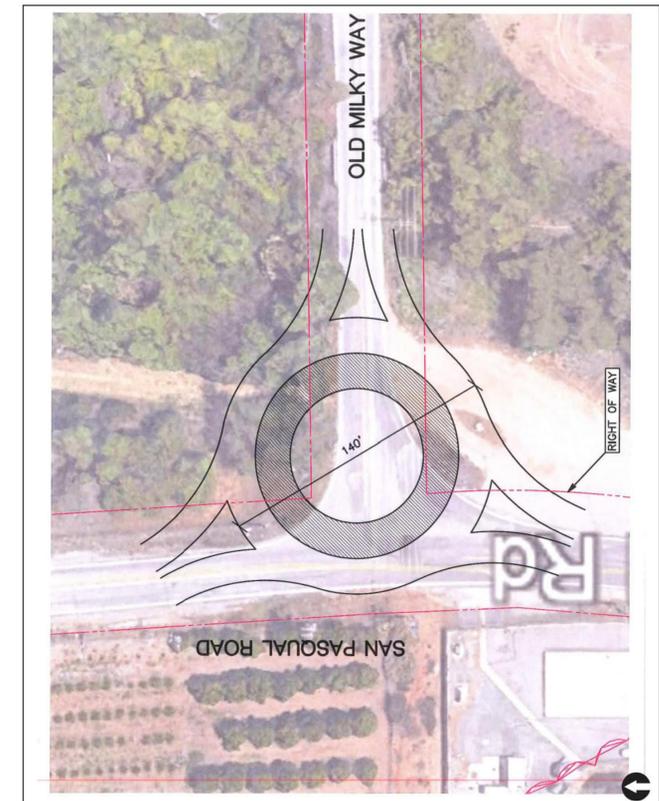
 SCALE: 1"=30'



ROUNDAABOUT
 TRA-1

Mitigation Measure #1 TRA-1 Roundabout

CONCEPTUAL ONLY



Mitigation Measure # TRA-6 Roundabout Concept

Safari Highlands Ranch

ROUNDAABOUT CONCEPT
 TRA-6

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